

Stone Creek Commerce Center

DESIGN REVIEW SET

NEW SHELL BUILDING

TBD BEAR HALLOW DRIVE
RANCHO CORDOVA, CALIFORNIA



VLMK JOB NUMBER: 20220215

PROJECT INFORMATION:

NARRATIVE:

THIS PROJECT INCLUDES ONE NEW CONCRETE TILT-UP SHELL BUILDING DESIGNED FOR MULTI-TENANTS. IT WILL MAKE AVAILABLE TO THE COMMUNITY STATE OF THE ART FACILITIES FOR A LARGE RANGE OF BUSINESS ACTIVITIES. THE FACILITIES ARE DESIGNED TO ACCOMMODATE SMALL BUSINESSES AS WELL AS TENANTS SEEKING LARGE WAREHOUSE DISTRIBUTION SPACE.

SCOPE OF WORK:

- 1) NEW SHELL BUILDING (303,496 SF.);
A) DESIGNED FOR UP TO (7) POTENTIAL TENANTS.
B) DESIGNED FOR POSSIBLE HIGH PILED STORAGE (ESFR SPRINKLERS, FIRE ACCESS MANDOOKS, 30.0' CLEAR, ETC.)
2) ALL SITE WORK (GRADING, PAVING, LANDSCAPING, ETC.) AS SHOWN ON SITE PLANS.

PLANNING / ZONING REVIEW:

Table with 2 columns: JURISDICTION, COUNTY, LAND USE ZONE, OVERLAY ZONES, STREET ADDRESS, LEGAL DESCRIPTION. Values include CITY OF RANCHO CORDOVA, CALIFORNIA; SACRAMENTO; BP (BUSINESS PARK); NONE; TBD BEAR HALLOW DRIVE; SEE SURVEY.

AREA SUMMARY:

Table with 4 columns: SITE AREA, BUILDING A (CURRENT), BUILDING B (FUTURE), TOTAL BLDG. AREA, LANDSCAPE AREA, PAVED AREA. Values include 1,268,918 SQFT., 301,000 SQFT., 249,600 SQFT., 550,600 SQFT., 178,055 SQFT., 540,263 SQFT.

Table with 2 columns: CATEGORY, VALUE. Categories include AUTO PARKING (MIN. REQUIRED), ACCESSIBLE PARKING (REQUIRED), VAN ACCESSIBLE PARKING, SHORT TERM BIKE PARKING, LONG TERM BIKE PARKING.

REQUIRED BIKE PARKING BASED ON SHORT TERM (10% OF MIN. AUTO SPACES REQUIRED) AND LONG TERM (5% OF MIN. AUTO SPACES REQUIRED)

Table with 4 columns: DESCRIPTION, REQUIREMENT, AREA, SPACES. Categories include ACCESS. OFFICE (BUILDING A), MANUFACTURING (BUILDING A), WAREHOUSE (BUILDING A), TOTAL.

CODE INFORMATION:

CURRENT CODES:

APPLICABLE CODES AND STANDARDS INCLUDE:

- 1) BUILDING = 2019 C.B.C. (BASED ON 2018 IBC)
2) MECHANICAL = 2019 C.M.C. (BASED ON 2018 IMC)
3) PLUMBING = 2019 C.P.C. (BASED ON 2018 UPC)
4) ELECTRICAL = 2019 C.E.C. (BASED ON 2018 NEC)
5) FIRE = 2019 C.F.C. (BASED ON 2018 IFC)
6) CAL-GREEN CODE = 2019 C.G.B.S.C.
7) N.F.P.A. (NATIONAL FIRE PROTECTION AGENCY)
8) ADA = 2009 ICC/ANSI A117.1

GENERAL IBC REVIEW:

Table with 2 columns: OCCUPANCY, CONSTRUCTION TYPE, FULLY SPRINKLED, FIRE ALARM, ALLOWABLE AREA, BUILDING FOOTPRINT, FLOOR-AREA-RATIO (FAR), BUILDING HEIGHT, STORIES, OCCUPANT LOAD, EXITS, FIRE RATINGS, REQUIRED OPENING PROTECTION, FIRE EXTINGUISHERS, ENERGY CODE, ENERGY SCHEDULE, ACCESSIBLE PARKING. Values include SHELL BUILDING, TENANT(S) UNKNOWN AT THIS TIME - ASSUMED S-1 (WAREHOUSE), F-1 (MANUF.) AND B (OFFICE); V-B (CONCRETE TILT-UP WITH WOOD ROOF); YES; 23.7; MAX. ALLOWED = 60-FEET, ACTUAL = 42'-0"; ALLOWED = 2, ACTUAL = 1 (SINGLE); NO TENANTS (UNKNOWN AT THIS TIME); MIN. REQ'D. = 3, ACTUAL 28; DUE TO UNLIMITED AREA, THE EXTERIOR WALLS ARE NOT REQUIRED TO BE RATED, SEE SHEET A7.0 FOR FIRE BARRIER WALLS AT ELECTRICAL AND FIRE PUMP ROOMS; NONE; SEE SHEET A1.0 FOR TYPES AND LOCATIONS; THIS PROJECT IS FOR A SHELL BUILDING AND WILL BE SEMI-HEATED (FREEZE-PROTECTED). SEE MECHANICAL AND ELECTRICAL SHEETS FOR ALL ENERGY FORMS; SEE MECHANICAL AND ELECTRICAL SHEETS (ALSO SEE ENERGY NOTE ABOVE); PROVIDED AS SHOWN ON SITE PLAN.

PERMIT INFORMATION:

PERMIT SUBMITTALS:

Table with 7 columns: DESCRIPTION, APPLICANT, PERMIT/APP. NO., SUBMITTED, RE-SUBMIT, RE-SUBMIT, APPROVED. Rows include PRE-APP MEETING, DESIGN REVIEW, BOUNDARY LINE ADJUSTMENT (BLA), FAA (7460) BUILDING, FAA (7460) CRANE, TRAFFIC IMPACT STUDY, BUILDING PERMIT, FIRE PERMIT, PUBLIC WORKS PERMIT.

SEPARATE PERMITS:

Table with 4 columns: NO., SYSTEM DESCRIPTION, SUB-CONTRACTOR, SUBMITTAL. Rows include ELECTRICAL (2,500 AMP SERVICE), FIRE PROTECTION (ESFR WITH FIRE PUMP), FIRE ALARM / MONITORING.

DEFERRED SUBMITTALS (BIDDER DESIGN):

Table with 4 columns: NO., SYSTEM DESCRIPTION, SUB-CONTRACTOR, SUBMITTAL. Rows include OPEN-WEB STEEL JOISTS / GIRDERS, CURTAIN WALL / STOREFRONT.

NOTE: IN ACCORDANCE WITH I.B.C. SECTION 107.3.4.1 DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED BY VLMK PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL FOR PERMIT APPROVAL. THE SUBCONTRACTOR OR VENDOR IS RESPONSIBLE TO PROVIDE CUSTOMARY DESIGN DOCUMENTS AND PERMIT COORDINATION FOR THEIR DEFERRED SUBMITTAL ITEMS. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

DIRECTORY:

OWNER / DEVELOPER:

AT QOZB II LLC
12709 E Mirabeau Parkway, Suite 10
Spokane Valley, Washington 99216
Phone: (509) 927-7747
Contact: John Gordon (503) 572-1810, Cell

ENGINEER:

VLMK ENGINEERING + DESIGN
3939 S Kelly Avenue
Portland, Oregon 97239
Phone: (503) 222-4453
Contact: Chris Palmateer (971) 254-8284, Direct
Bill Lambert (503) 580-0812, Cell

JURISDICTION (SITE/BLDG.):

CITY OF RANCHO CORDOVA
2729 Prospect Park Drive
Rancho Cordova, California 95670
Phone: (916) 851-8750
Contacts: Nick Sosa (Planning)
(916) 851-8753, Direct

LANDSCAPE ARCHITECT:

OTTEN AND ASSOCIATES
3933 South Kelly Avenue, Suite B
Portland, Oregon 97239
Phone: (503) 972-0311
Contact: Erin Holsonback

MEFP ENGINEER:

SYSTEM DESIGN CONSULTANTS, INC.
333 SE 2nd Avenue, Suite 100
Portland, Oregon 97214
Phone: (503) 248-0227
Contact: John Rogers (Electrical)
Steve Watkins (Electrical)
Bruce Meyers (Mechanical)
Neil Boyer (Plumbing)
Kelly Johnson (Energy)

SURVEYOR:

LAUGENOUR AND MEIKLE
608 Court Street
Woodland, California 95695
Phone: (530) 662-1755
Contact: Matthew Souza, (530) 312-0571, Cell

GEO ENGINEER:

WALLACE KUHLE & ASSOCIATES
3050 Industrial Blvd.
West Sacramento, California 95691
Phone: (916) 372-1434
Contact: Tom DeSimone, (916) 792-1976, Cell

CONTRACTOR:

TBD

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2 OF 2 ALTA SURVEY

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PROJECT NAME

STONE CREEK
COMMERCE
CENTER

TBD BEAR HALLOW DRIVE
RANCHO CORDOVA, CA.

DESIGN REVIEW INTAKE
SET: 05-0-22

REVISIONS

Table with 3 columns: NO., DATE, DESCRIPTION. Contains a grid for tracking revisions.

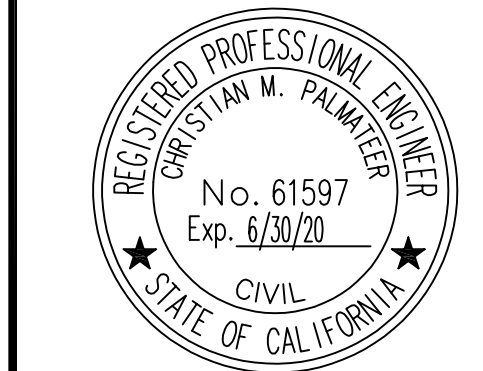
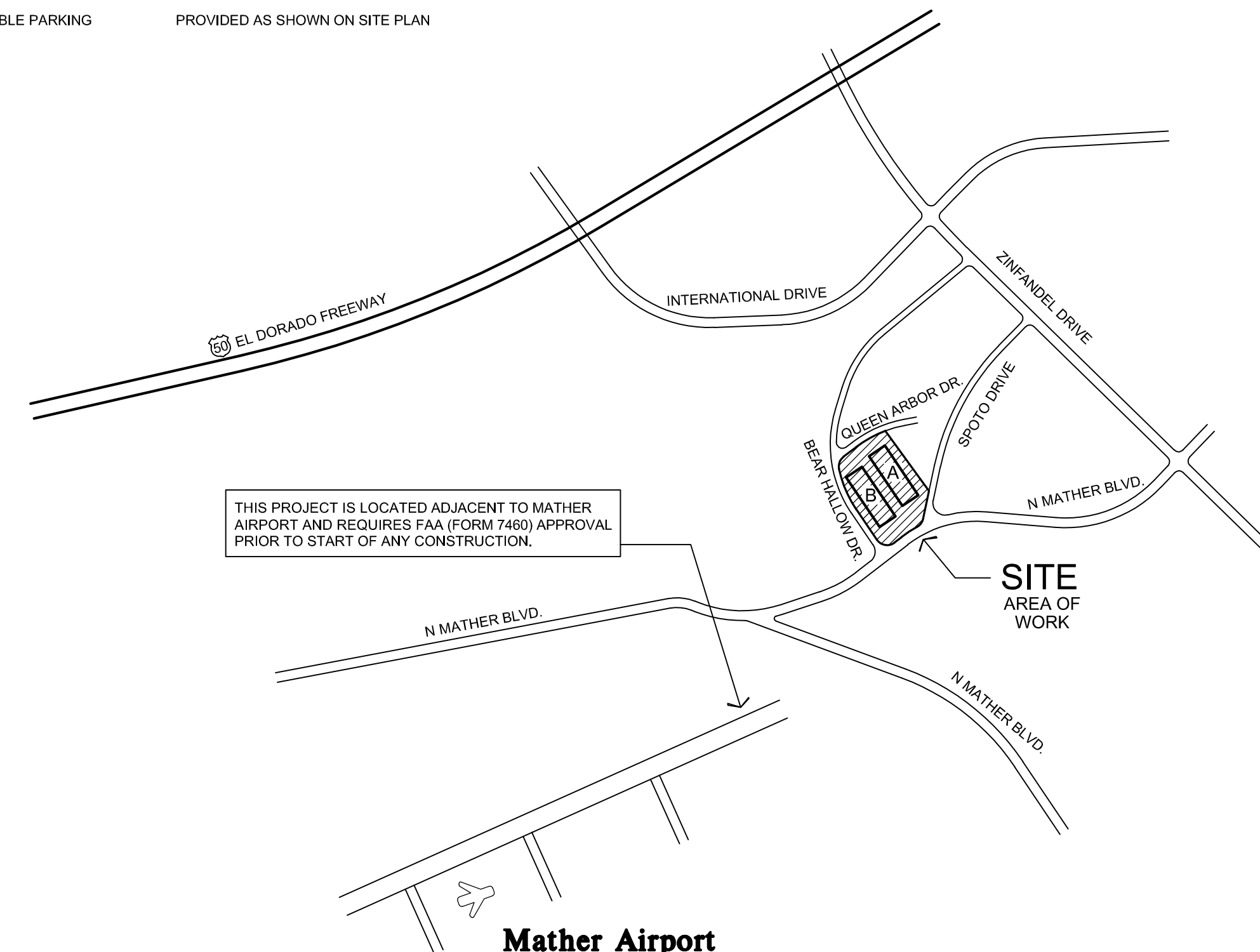


Table with 2 columns: DATE, SCALE, PROJ. NO., DRAWN, CHECKED. Values include APRIL 2022, AS NOTED, 20220215, BGL, CMP.

COVER SHEET



THIS PROJECT IS LOCATED ADJACENT TO MATHER AIRPORT AND REQUIRES FAA (FORM 7460) APPROVAL PRIOR TO START OF ANY CONSTRUCTION.



LEGEND	
	STORM DRAIN AND MANHOLE
	SANITARY SEWER AND MANHOLE
	FIRE HYDRANT AND VALVE ASSEMBLY
	WATER MAIN, VALVE, DOUBLE DETECTOR CHECK VALVE, METER & BLOWOFF VALVE
	JOINT UTILITY TRENCH
	GAS MAIN
	STREET LIGHT AND POLE
	VERTICAL CURB, GUTTER & SIDEWALK WITH DRIVEWAY
	CATCH BASIN OR DRAINAGE INLET
	FLOWLINE OF DITCH OR SWALE
	RIGHT OF WAY OR PROPERTY LINE
	STREET CENTERLINE OR BASELINE
	PUBLIC UTILITY EASEMENT
	SURVEY MONUMENT
	SURVEY CONTROL

ABBREVIATIONS	
DI	DRAINAGE INLET
E	EAST
ELEC	ELECTRICAL
FH	FIRE HYDRANT
INV	INVERT
MH	MANHOLE
N	NORTH
NE	NORTHEAST
NW	NORTHWEST
PE	PEDESTRIAN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
S	SOUTH
SE	SOUTHEAST
SD	STORM DRAIN
SL	STREET LIGHT
SS	SEWER SERVICE, SANITARY SEWER
SW	SOUTHWEST
W	WEST
WV	WATER VALVE

BENCHMARK:
 DESIGNATION: DOUGLAS P.I.D.: DL9154
 2 1/2" BRASS DISK SET IN HEADWALL. THE STATION IS LOCATED 42 FT WEST OF THE CENTERLINE OF SUNRISE BLVD, 27 FT NORTH OF THE CENTERLINE OF THE CREEK, 6 FT WEST OF THE FACE OF CURB AND 1 FT EAST OF A WITNESS POST.
 ELEV: 146.60' DATUM: N.A.V.D. 88

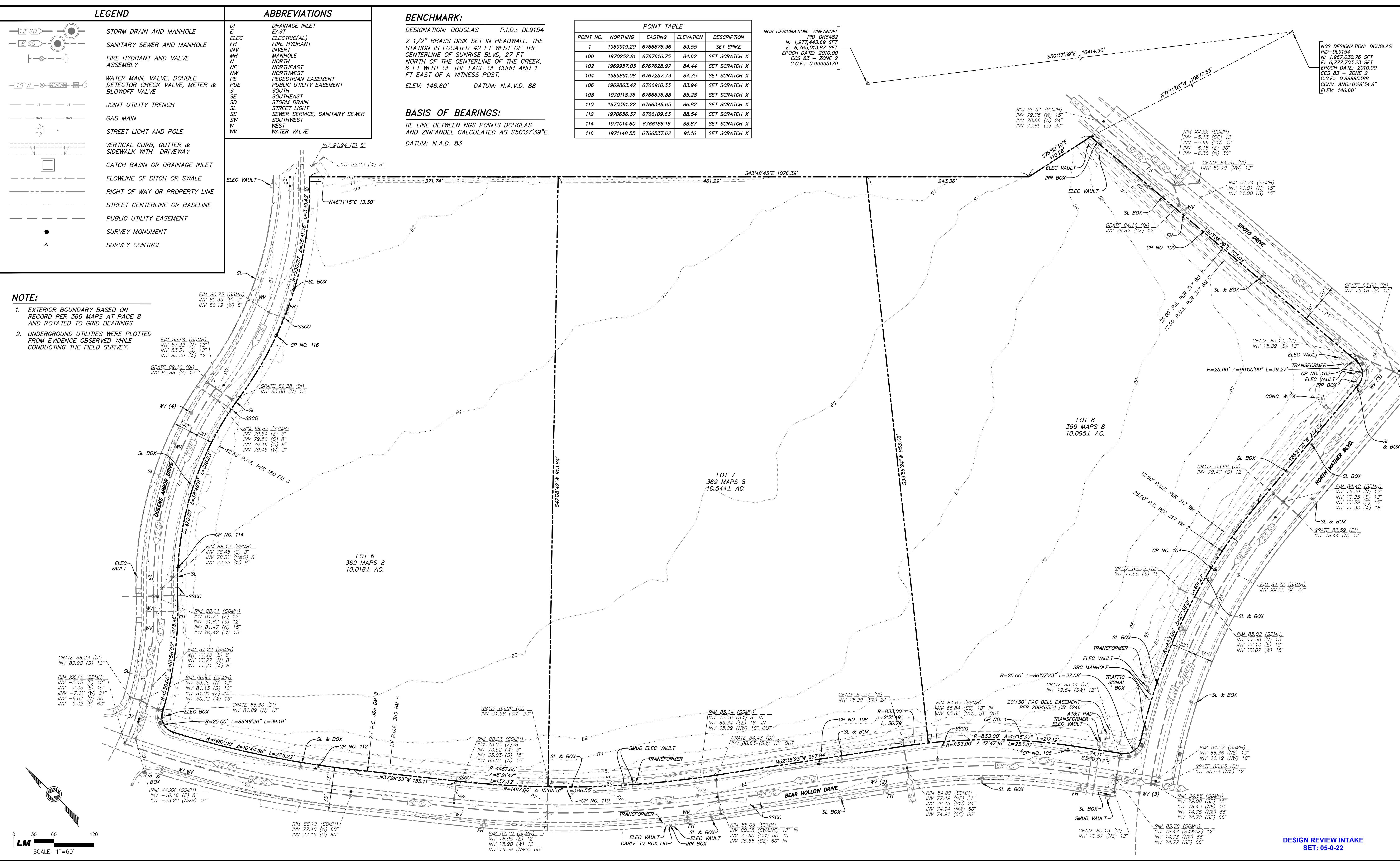
BASIS OF BEARINGS:
 TIE LINE BETWEEN NGS POINTS DOUGLAS AND ZINFANDEL CALCULATED AS S50°37'39"E.
 DATUM: N.A.D. 83

POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	1969919.20	6766876.36	83.55	SET SPIKE
100	1970252.81	6767616.75	84.62	SET SCRATCH X
102	1969957.03	6767628.97	84.44	SET SCRATCH X
104	1969891.08	6767257.73	84.75	SET SCRATCH X
106	1969863.42	6766910.33	83.94	SET SCRATCH X
108	1970118.36	6766636.88	85.28	SET SCRATCH X
110	1970361.22	6766346.65	86.82	SET SCRATCH X
112	1970656.37	6766109.63	88.54	SET SCRATCH X
114	1971014.60	6766186.16	88.87	SET SCRATCH X
116	1971148.55	6766537.62	91.16	SET SCRATCH X

NGS DESIGNATION: ZINFANDEL
 PID-DH6482
 N: 1,977,443.69 SFT
 E: 6,765,013.87 SFT
 EPOCH DATE: 2010.00
 CCS 83 - ZONE 2
 C.G.F.: 0.99995170

NGS DESIGNATION: DOUGLAS
 PID-DL9154
 N: 1,967,030.76 SFT
 E: 6,777,703.23 SFT
 EPOCH DATE: 2010.00
 CCS 83 - ZONE 2
 C.G.F.: 0.99995388
 CONV. ANG.: 0°28'34.8"
 ELEV.: 146.60'

- NOTE:**
- EXTERIOR BOUNDARY BASED ON RECORD PER 369 MAPS AT PAGE 8 AND ROTATED TO GRID BEARINGS.
 - UNDERGROUND UTILITIES WERE PLOTTED FROM EVIDENCE OBSERVED WHILE CONDUCTING THE FIELD SURVEY.



REV.	DATE	DESCRIPTION	BY	APP'D.

LM LAUGENOUR AND MEIKLE
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04/25/2022
 L.S. 9215
 STATE OF CALIFORNIA

AT INDUSTRIAL
 10801 N. MATHER BOULEVARD RANCHO CORDOVA, CALIFORNIA
 TOPOGRAPHIC SURVEY MAP

SCALE: 1"=60'
 SHEET 1 OF 1

DATE: 4/26/22
 JOB NO. 4633

