Stone Creek Commerce Center

DESIGN REVIEW SET

VLMK JOB NUMBER: 20220215

IVLMK ENGINEERING + DESIGN

3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 VLMK.COM

NEW SHELL BUILDING

TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CALIFORNIA

PROJECT INFORMATION:

NARRATIVE:

THIS PROJECT INCLUDES ONE NEW CONCRETE TILT-UP SHELL BUILDING DESIGNED FOR MULTI TENANTS. IT WILL MAKE AVAILABLE TO THE COMMUNITY STATE OF THE ART FACILITIES FOR A LARGE RANGE OF BUSINESS ACTIVITIES. THE FACILITIES ARE DESIGNED TO ACCOMMODATE SMALL BUSINESSES AS WELL AS TENANTS SEEKING LARGE WAREHOUSE DISTRIBUTION SPACE.

SCOPE OF WORK:

1) NEW SHELL BUILDING (303,496 SF.): A) DESIGNED FOR UP TO (7) POTENTIAL TENANTS. B) DESIGNED FOR POSSIBLE HIGH PILED STORAGE (ESFR SPRINKLERS, FIRE ACCESS MANDOORS, 30.0' CLEAR, ETC.)

2) ALL SITE WORK (GRADING, PAVING, LANDSCAPING, ETC.) AS SHOWN ON SITE PLANS.

PLANNING / ZONING REVIEW:

JURISDICTION CITY OF RANCHO CORDOVA, CALIFORNIA SACRAMENTO COUNTY LAND USE ZONE BP (BUSINESS PARK) OVERLAY ZONES TBD BEAR HALLOW DRIVE

SEE SURVEY

AREA SUMMARY:

AUTO PARKING (MIN. REQUIRED):

BIKE PARKING (REQUIRED):

LEGAL DESCRIPTION

•	SITE AREA:	1,268,918	SQFT.	29.13	ACRES (+/-)
	BUILDING A (CURRENT) BUILDING B (FUTURE)	301,000 249,600			COVERAGE COVERAGE
	TOTAL BLDG. AREA:	550,600	SQFT.	43.4%	COVERAGE
	LANDSCAPE AREA:	178,055	SQFT.	14.0%	COVERAGE
	PAVED AREA:	540,263	SQFT.	42.6%	COVERAGE

424 SPACES

734 SPACES 1.3 PER 1,000 SQFT. AUTO PARKING (PROVIDED): ACCESSIBLE PARKING (REQUIRED): 16 SPACES (8 PER BLDG.) ACCESSIBLE PARKING (PROVIDED): 16 SPACES (8 PER BLDG.) VAN ACCESSIBLE PARKING (REQUIRED): 4 SPACES (2 PER BLDG.) VAN ACCESSIBLE PARKING (PROVIDED): 4 SPACES (2 PER BLDG.) SHORT TERM (EXTERIOR RACKS) 42 SPACES (BOTH BLDGS.

SHORT TERM BIKE PARKING (PROVIDED): 45 SPACES

22 SPACES (BOTH BLDGS. LONG TERM (INTERIOR RACKS) BIKE PARKING (REQUIRED): COMBINED) LONG TERM BIKE PARKING (PROVIDED): 22 SPACES

REQUIRED BIKE PARKING BASED ON SHORT TERM (10% of MIN. AUTO SPACES REQUIRED) AND LONG TERM (5% of MIN. AUTO SPACES REQUIRED)

AUTO PARKING BASE	ED ON CITY REQUIREMENTS	:	
DESCRIPTION	REQUIREMENT	AREA	SPACES
ACCESS. OFFICE (BUILDING A)	(2.7) PER 1,000 SF. (ASSUME 10-PERCENT)	30,350 SF.	81
ACCESS. OFFICE (BUILDING B)	(2.7) PER 1,000 SF. (ASSUME 10-PERCENT)	25,210 SF.	67
MANUFACTURING (BUILDING A)	(1) PER 1,000 S.F. (ASSUME 10-PERCENT)	30,350 SF.	30
MANUFACTURING (BUILDING B)	(1) PER 1,000 S.F. (ASSUME 10-PERCENT)	25,210 SF.	25
WAREHOUSE (BUILDING A)	(0.5) PER 1,000 S.F. (MIN.) (ASSUME 80-PERCENT)	242,796 SF.	121
WAREHOUSE (BUILDING B)	(0.5) PER 1,000 S.F. (MIN.) (ASSUME 80-PERCENT)	201,676 SF.	100
TOTAL		555,592 SF.	424

CODE INFORMATION:

CURRENT CODES:

APPLICABLE CODES AND STANDARDS INCLUDE:

1) BUILDING = 2019 C.B.C. (BASED ON 2018 IBC)

2) MECHANICAL = 2019 C.M.C. (BASED ON 2018 IMC) 3) PLUMBING = 2019 C.P.C. (BASED ON 2018 UPC)

4) ELECTRICAL = 2019 C.E.C. (BASED ON 2018 NEC)

5) FIRE = 2019 C.F.C. (BASED ON 2018 IFC)

6) CAL-GREEN CODE = 2019 C.G.B.S.C.

6) ENERGY = 2019 ENERGY STANDARDS 7) N.F.P.A. (NATIONAL FIRE PROTECTION AGENCY)

8) ADA = 2009 ICC/ANSI A117.1

GENERAL IBC REVIEW:

OCCUPANCY	SHELL BUILDING, TENANT(S) UNKNOWN AT THIS TIME - ASSUMED S-1 (WAREHOUSE), F-1 (MANUF.) AND B (OFFIC
CONSTRUCTION TYPE	V-B (CONCRETE TILT-UP WITH WOOD ROOF)
FULLY SPRINKLED	YES
FIRE ALARM	YES
ALLOWABLE AREA	WITH (4) 60.0' SIDEYARDS AND FULLY SPRINKLERED, ALLOWABLE AREA IS TO BE UNLIMITED
BUILDING FOOTPRINT	301,000 SF
FLOOR-AREA-RATIO (FAR)	23.7
BUILDING HEIGHT	MAX. ALLOWED = 60-FEET, ACTUAL = 42'-0"
STORIES	ALLOWED = 2, ACTUAL = 1 (SINGLE)
OCCUPANT LOAD	NO TENANTS (UNKNOWN AT THIS TIME)
EXITS	MIN. REQ'D. = 3, ACTUAL 28
FIRE RATINGS	DUE TO UNLIMITED AREA, THE EXTERIOR WALLS

AND FIRE PUMP ROOMS REQUIRED OPENING FIRE EXTINGUISHERS SEE SHEET A1.0 FOR TYPES AND LOCATIONS. **ENERGY CODE** THIS PROJECT IS FOR A SHELL BUILDING AND WILL BE SEMI-HEATED (FREEZE-PROTECTED). SEE MECHANICAL

ARE NOT REQUIRED TO BE RATED. SEE SHEET A7.0

THIS PROJECT IS LOCATED ADJACENT TO MATHER

PRIOR TO START OF ANY CONSTRUCTION.

AIRPORT AND REQUIRES FAA (FORM 7460) APPROVAL

Mather Airport

FOR FIRE BARRIER WALLS AT ELECTRICAL

AND ELECTRICAL SHEETS FOR ALL ENERGY FORMS. ENERGY SCHEDULE SEE MECHANICAL AND ELECTRICAL SHEETS (ALSO SEE ENERGY NOTE ABOVE). ACCESSIBLE PARKING PROVIDED AS SHOWN ON SITE PLAN

PERMIT INFORMATION:

PERMIT SUBMITTALS:

DESCRIPTION	APPLICANT	PERMIT/APP. NO.	SUBMITTED	RE-SUBMIT	RE-SUBMIT	APPROVED
PRE-APP MEETING	VLMK	-	MEETING W	AS HELD ON	02-10-22	
DESIGN REVIEW	VLMK	-	05-09-22	-	-	-
BOUNDARY LINE ADJUSTMENT (BLA)	L&M SURVEY AND VLMK	-	05-09-22	-	-	-
FAA (7460) BUILDING	VLMK	-	-	-	-	-
FAA (7460) CRANE	VLMK	-	-	-	-	-
TRAFFIC IMPACT STUDY	-	-	-	-	-	-
BUILDING PERMIT	VLMK	-	-	-	-	-
FIRE PERMIT	VLMK	-	-	-	-	-
PUBLIC WORKS PERMIT	VLMK	-	-	-	-	-

SEPARATE PERMITS:

INTERNATIONAL DRIVE

NO	SYSTEM DESCRIPTION	SUB-CONTRACTOR	SUBMITTAL
1	ELECTRICAL (2,500 AMP SERVICE)	TO BE DETERMINED	TO CITY BY SUB-CONTRACTOR
2	FIRE PROTECTION (ESFR WITH FIRE PUMP)	TO BE DETERMINED	TO CITY BY SUB-CONTRACTOR
3	FIRE ALARM / MONITORING	TO BE DETERMINED	TO CITY BY SUB-CONTRACTOR

DEFERRED SUBMITTALS (BIDDER DESIGN):

NO.	SYSTEM DESCRIPTION	SUB-CONTRACTOR	SUBMITTAL
1	OPEN-WEB STEEL JOISTS / GIRDERS	TO BE DETERMINED	SHOP DRAWINGS
2	CURTAIN WALL / STOREFRONT	TO BE DETERMINED	SHOP DRAWINGS

IN ACCORDANCE WITH I.B.C. SECTION 107.3.4.1 DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED BY VLMK PRIOR TO SUBMITTAL TO THE BUILDING OFFICIAL FOR PERMIT APPROVAL. THE SUBCONTRACTOR OR VENDOR IS RESPONSIBLE TO PROVIDE CUSTOMARY DESIGN DOCUMENTS AND PERMIT COORDINATION FOR THEIR DEFERRED SUBMITTAL ITEMS. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL

N MATHER BLVL.

AREA OF WORK

DIRECTORY:

OWNER / DEVELOPER:

AT QOZB II LLC 12709 E Mirabeau Parkway, Suite 10 Spokane Valley, Washington 99216 Phone: (509) 927-7747 Contact: John Gordon (503) 572-1810, Cell

ENGINEER:

VLMK ENGINEERING + DESIGN 3939 S Kelly Avenue Portland, Oregon 97239 Phone: (503) 222-4453 Contact: Chris Palmateer (971) 254-8284, Direct Bill Lambert (503) 580-0812, Cell

JURISDICTION (SITE/BLDG.)

CITY OF RANCHO CORDOVA 2729 Prospect Park Drive Rancho Cordova, California 95670 Phone: (916) 851-8750 Contacts: Nick Sosa (Planning) (916) 851-8753, Direct

LANDSCAPE ARCHITECT:

OTTEN AND ASSOCIATES 3933 South Kelly Avenue, Suite B Portland, Oregon 97239 Phone: (503) 972-0311 Contact: Erin Holsonback

MEFP ENGINEER:

SYSTEM DESIGN CONSULTANTS, INC. 333 SE 2nd Avenue, Suite 100 Portland, Oregon 97214 Phone: (503) 248-0227 Contact: John Rogers (Electrical) Steve Watkins (Electrical) Bruce Meyers (Mechanical) Neil Boyer (Plumbing) Kelly Johnson (Energy)

SURVEYOR:

LAUGENOUR AND MEIKLE 608 Court Street Woodland, California 95695 Phone: (530) 662-1755 Contact: Matthew Souza, (530) 312-0571, Cell

GEO ENGINEER:

WALLACE KUHL & ASSOCIATES 3050 Industrial Blvd. West Sacramento, California 95691 Phone: (916) 372-1434 Contact: Tom DeSimone, (916) 792-1976, Cell

CONTRACTOR:

DRAWING INDEX:

GEN	ERAL:
CVR1.0 CVR1.1	COVER SHEET DRAWING HISTORY AND SYMBOLS
G1.0 G1.1 G1.2 G2.0 G2.1 G2.2 G2.3 G3.0	OVERALL SITE PLAN SITE PLAN NORTH SITE PLAN SOUTH SITE DETAILS SITE DETAILS SITE DETAILS SITE DETAILS SITE DETAILS SITE LIGHTING PLAN
CIVIL	<u>.:</u>
C0.0 C1.0 C1.1 C1.2 C1.3 C1.4	EXISTING CONDITIONS AND DEMO PLAN OVERALL GRADING PLAN GRADING PLAN NW GRADING PLAN NE GRADING PLAN SW GRADING PLAN SE GRADING DETAILS

GRADING PLAN DETAILS OVERALL UTILITY PLAN UTILITY PLAN NW UTILITY PLAN NE UTILITY PLAN SW UTILITY PLAN SE LIDA PLANTER DETAILS LIDA PLANTER DETAILS LIDA PLANTER DETAILS C2.9 UTILITY DETAILS
C2.10 UTILITY DETAILS EROSION CONTROL COVER SHEET **EROSION CONTROL DETAILS** SHED MAP C5.0 FIRE PLAN

LANDSCAPE PLAN

LANDSCAPE:

LANDSCAPE PLAN LANDSCAPE PLAN LANDSCAPE PLAN LANDSCAPE DETAILS AND SPECIFICATIONS

SURVEY: 1 OF 2 ALTA SURVEY 2 OF 2 ALTA SURVEY

ARCHITECTURAL:

OVERALL FLOOR PLAN PARTIAL FLOOR PLAN NORTH PARTIAL FLOOR PLAN CENTER PARTIAL FLOOR PLAN SOUTH DOOR SCHEDULES AND DETAILS OVERALL EXTERIOR ELEVATIONS ENLARGED ELEVATIONS BUILDING SECTIONS WALL SECTIONS WALL SECTIONS STOREFRONT PLAN, ELEVATION AND DETAILS

STOREFRONT PLAN AND ELEVATION ROOF PLAN AND DETAILS ROOF DETAILS ARCHITECTURAL DETAILS SPECIFICATIONS SPECIFICATIONS SPECIFICATIONS

STRUCTURAL: SPECIAL INSPECTION PARTIAL FOUNDATION PLAN NORTH PARTIAL FOUNDATION PLAN CENTER PARTIAL FOUNDATION PLAN SOUTH FOUNDATION DETAILS FOUNDATION DETAILS FOUNDATION DETAILS PARTIAL ROOF FRAMING PLAN NORTH PARTIAL ROOF FRAMING PLAN CENTER PARTIAL ROOF FRAMING PLAN SOUTH ROOF FRAMING DETAILS ROOF FRAMING DETAILS ROOF FRAMING DETAILS CANOPY FRAMING PLAN AND DETAILS STRUCTURAL DETAILS TILT WALL PANEL ELEVATIONS TILT WALL PANEL ELEVATIONS TILT WALL PANEL TYPES TILT WALL PANEL TYPES

TILT WALL PANEL DETAILS TILT WALL PANEL DETAILS

PLUMBING LEGEND AND NOTES PLUMBING PLAN NORTH

PLUMBING PLAN CENTER PLUMBING PLAN SOUTH PLUMBING SPECIFICATIONS PLUMBING SPECIFICATIONS PLUMBING SPECIFICATIONS **MECHANICAL** MECHANICAL LEGEND SCHEDULES AND DETAILS

PLUMBING:

TITLE 24 MECHANICAL PLAN NORTH MECHANICAL PLAN CENTER MECHANICAL PLAN SOUTH MECHANICAL FIRE PROTECTION SPECIFICATIONS MECHANICAL SPECIFICATIONS

FLECTRICAL:

	ELLOTRICAL.									
E0.1	ELECTRICAL LEGEND AND NOTES									
E0.2	TITLE 24									
E1.1	ELECTRICAL SITE PLAN									
E1.2	ELECTRICAL SITE PHOTOMETRICS PLAN									
E2.1	ELECTRICAL POWER PLAN NORTH									
E2.2	ELECTRICAL POWER PLAN CENTER									
E2.3	ELECTRICAL POWER PLAN SOUTH									
E3.1	ELECTRICAL LIGHTING PLAN NORTH									
E3.2	ELECTRICAL LIGHTING PLAN CENTER									
E3.3	ELECTRICAL LIGHTING PLAN SOUTH									
E4.1	ELECTRICAL ENLARGED PLAN									
E5.1	ELECTRICAL RISER DIAGRAM									
E5.2	ELECTRICAL PANEL SCHEDULES									
E6.1	ELECTRICAL DETAILS									
E9.1	ELECTRICAL SPECIFICATIONS									
E9.2	ELECTRICAL SPECIFICATIONS									
E9.3	ELECTRICAL SPECIFICATIONS									

PROJECT NAME STONE CREEK

COMMERCE **CENTER**

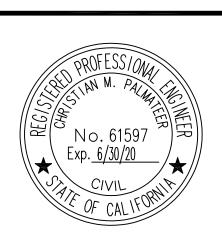
> TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CA

DESIGN REVIEW INTAKE

SET: 05-0-22

REVISIONS

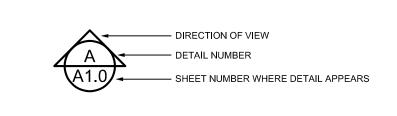
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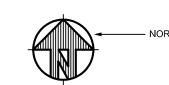


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COVER SHEET



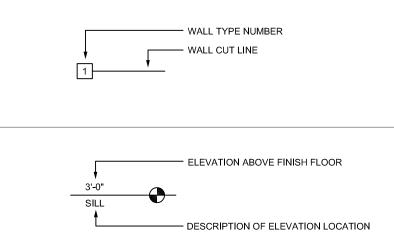


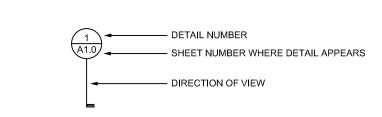


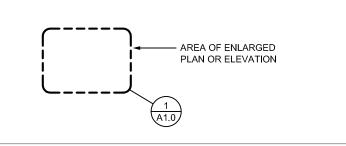
— NORTH ARROW DIRECTION

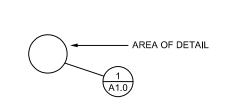


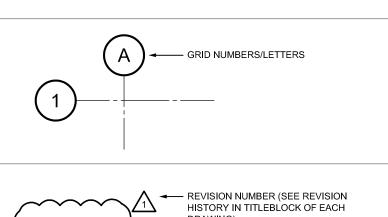
MARK | DESCRIPTION 1) DOWNSPOUTS (D.S.) 6" DIA. TYP. (U.N.O.) L KEYNOTE DESCRIPTION KEYNOTE NUMBER











■ AREA OF REVISION

AB	ANCHOR BOLT	JT	JOINT
A/C AC	AIR CONDITIONING ASPHALT CONCRETE	JST	JOIST
ACT	ACOUSTIC CEILING TILE	KD	KNOCKED DOWN
AD A	AREA DRAIN	ND	MAGGRED DOWN
ADA ADD	AMERICANS WITH DISABILITIES ACT ADDITION OR ADDENDUM	LAM	LAMINATE
ADDL	ADDITIONAL	LAT	LATERAL
AFF	ABOVE FINISH FLOOR	LAV	LAVATORY
ALT AL	ALTERNATE ALUMINUM	LF LT	LINEAR FEET LIGHT
ALUM	ALUMINUM	LTG	LIGHTING
AMP	AMPERES	LVT	LUXURY VINYL TILE
ANOD ARCH	ANODIZED ARCHITECT		
AITOIT	ARGINIEGI	MATL	MATERIAL
вс	BACK OF CURB	MAX	MAXIMUM
BD	BOARD	MB MDO	MACHINE BOLT MEDIUM DENSITY OVERLAY
BLDG BLK	BUILDING BLOCK, BLOCKING	MECH	MECHANICAL
ВМ	BENCH MARK, BEAM	MEFP	MECHANICAL, ELECTRICAL
BOT BOCAN	BOTTOM BOTTOM OF CANOPY	MFG	AND FIRE PROTECTION MANUFACTURING
BOCAIN BR	BEARING	MFR	MANUFACTURER
BUR	BUILT-UP ROOFING	MH M I N	MANHOLE MINIMUM
C	CAMPED	MISC	MISCELLANEOUS
CAM CB	CAMBER CATCH BASIN	MO	MASONRY OPENING
CF	CUBIC FOOT	MR MTL	MOISTURE RESISTANT METAL
CI	CAST IN PLACE	IVIIL	WETAL
CIP CJ	CAST IN PLACE CONTROL JOINT	(N)	NEW
C/L	CENTERLINE	NIC	NOT IN CONTRACT
CLG	CEILING	NOM	NOMINAL
CLR CMU	CLEAR CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
CO	CLEAN OUT		
COL	COLUMN	OA	OVERALL ON CENTER
CONC CONN	CONCRETE CONNECTION	OC OD	ON CENTER OUTSIDE DIAMETER
CONN	CONSTRUCTION	ОН	OPPOSITE HAND
CONT	CONTINUOUS	OPNG	OPENING
CONTR CPT	CONTRACTOR CARPET OR CARPET TILE	50	DDECAST COMODETE
CY	CUBIC YARD	PC PERF	PRECAST CONCRETE PERFORATED
		PERP	PERPENDICULAR
d (D)	PENNY	PH	PHASE
(D) DBL	DEMO DOUBLE	PJ PL	PANEL JOINT PLATE. PROPERTY LINE
DEMO	DEMOLITION	PLAM	,
DF	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA DIAG	DIAMETER DIAGONAL	PR PREFAB	PAIR PREFABRICATED
DIM	DIMENSION	PSF	POUNDS PER SQUARE FOOT
DISP	DISPENSER	PSI	
DL DN	DEAD LOAD DOWN	PT PVC	PRESERVATIVE TREATED WOOD POLYVINYL CHLORIDE
DR	DOOR	PWR	
DS	DOWNSPOUT		
DTL DW	DETAIL DISHWASHER	R	RADIUS
DWG	DRAWING	RB	RUBBER BASE
		RD REF	ROOF DRAIN, ROAD REFRIGERATOR
EXTG	EXISTING	REINF	REINFORCING
EXIST (E)	EXISTING EXISTING	REQ'D	
EA	EACH	REV RM	REVISION ROOM
EIFS	EXTERIOR INSULATION	RO	
EJ	AND FINISH SYSTEM EXPANSION JOINT	ROW	RIGHT OF WAY
ELEC	ELECTRIC		
ELECT ELEV		SAN SAT	SANITARY SUSPENDED ACOUSTICAL TILE
ELEV	ELEVATION, ELEVATOR EQUAL	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
ESFR	EARLY SUPPRESSION	SECT SF	SECTION SQUARE FEET
EW	FAST RESPONSE EACH WAY	SHT	SHEET
EXP	EXPOSED OR EXPANSION	SHTG	SHEATHING
EXT	EXTERIOR	SIM SOG	SIMILAR SLAB ON GRADE
FA	FIRE ALARM	SPEC	SPECIFICATION
FAB	FABRICATE	SQ	SQUARE
FD	FLOOR DRAIN	SQFT STD	SQUARE FEET STANDARD
FDC FDN	FIRE DEPARTMENT CONNECTION FOUNDATION	STL	STEEL
FDN FE	FOUNDATION FIRE EXTINGUISHER	STS	STORM SEWER
FEC	FIRE EXTINGUISHER CABINET	STRUCT SUSP	STRUCTURAL SUSPENDED
FH FIN	FIRE HYDRANT FINISH	SV	SHEET VINYL
FIN FIN FLR	FINISH FINISH FLOOR	SYM	SYMMETRICAL
FLR	FLOOR		
FLUOR FOC	FLUORESCENT FACE OF CONCRETE	T&G TB	TONGUE AND GROOVE THROUGH BOLT
	FACE OF CONCRETE FACE OF STUD	TOC	TOP OF CURB
FOS	FIBERGLASS REINFORCED PANEL	TOCAN	TOP OF CANOPY
FRP	FRAMING	TOF TOFTG	TOP OF FRAMING TOP OF FOOTING
FRP FRMG	FOOTING	TOFIG	TOP OF FOOTING TOP OF MULLION
FRP	FOOTING FURNITURE		TOP OF SLAB
FRP FRMG FTG		TOS	
FRP FRMG FTG FURN GA		TOS TOW	TOP OF WALL
FRP FRMG FTG FURN GA GALV	FURNITURE GAUGE GALVANIZED	TOS	TOP OF WALL TOILET PAPER TRANSFORMER
FRP FRMG FTG FURN GA GALV GFI	FURNITURE GAUGE GALVANIZED GROUND FAULT INTERRUPTOR	TOS TOW TP TRANS TS	TOILET PAPER TRANSFORMER TUBE STEEL
FRP FRMG FTG FURN GA GALV	FURNITURE GAUGE GALVANIZED	TOS TOW TP TRANS	TOILET PAPER TRANSFORMER
FRP FRMG FTG FURN GA GALV GFI GI GL GYP	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM	TOS TOW TP TRANS TS TYP	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL
FRP FRMG FTG FURN GA GALV GFI GI	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM	TOS TOW TP TRANS TS TYP	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE
FRP FRMG FTG FURN GA GALV GFI GI GU GYP GYP BD	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD	TOS TOW TP TRANS TS TYP UNO UON	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED
FRP FRMG FTG FURN GA GALV GFI GI GYP GYP BD	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD HOSE BIBB	TOS TOW TP TRANS TS TYP	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE
FRP FRMG FTG FURN GA GALV GFI GI GU GYP GYP BD	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD	TOS TOW TP TRANS TS TYP UNO UON URN	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL
FRP FRMG FTG FURN GA GALV GFI GI GYP GYP BD HB HC	GAUGE GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD HOSE BIBB HOLLOW CORE	TOS TOW TP TRANS TS TYP UNO UON	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED
FRP FRMG FTG FURN GA GALV GFI GI GYP GYP BD HB HC HDR HDR HDWE HGT	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARDWARE HEIGHT	TOS TOW TP TRANS TS TYP UNO UON URN VCT	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL VINYL COMPOSITION TILE
FRP FRMG FTG FURN GA GALV GFI GI GYP GYP BD HB HC HDR HDWE HGT HORIZ	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARDWARE HEIGHT HORIZONTAL	TOS TOW TP TRANS TS TYP UNO UON URN VCT VERT	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL VINYL COMPOSITION TILE VERTICAL
FRP FRMG FTG FURN GA GALV GFI GI GL GYP GYP BD HB HC HDR HDR HDWE HGT HORIZ HM	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARDWARE HEIGHT HORIZONTAL HOLLOW METAL	TOS TOW TP TRANS TS TYP UNO UON URN VCT VERT VIF	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD WATER CLOSET
FRP FRMG FTG FURN GA GALV GFI GI GYP GYP BD HB HC HDR HDWE HGT HORIZ	GAUGE GALVANIZED GROUND FAULT INTERRUPTOR GALVANIZED IRON GLUE LAMINATED BEAM GYPSUM GYPSUM BOARD HOSE BIBB HOLLOW CORE HEADER HARDWARE HEIGHT HORIZONTAL	TOS TOW TP TRANS TS TYP UNO UON URN VCT VERT VIF WC WCT	TOILET PAPER TRANSFORMER TUBE STEEL TYPICAL UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD WATER CLOSET WAINSCOT
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NOTE: THE ABBREVIATIONS SHOWN ON THIS LIST MAY NOT ALL BE USED IN THIS SET OF DRAWINGS. THERE MAY ALSO BE SOME ABBREVIATIONS THAT ARE INCLUDED IN THIS SET OF DRAWINGS THAT ARE NOT ON THIS LIST. IF ANY ABBREVIATIONS ARE IN DOUBT, PLEASE CONTACT ENGINEER FOR CLARIFICATION.

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ENGINEERING + DESIGN

3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM**

STONE CREEK

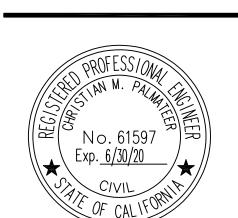
PROJECT NAME

COMMERCE CENTER

TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CA.

DESIGN REVIEW INTAKE SET: 05-0-22

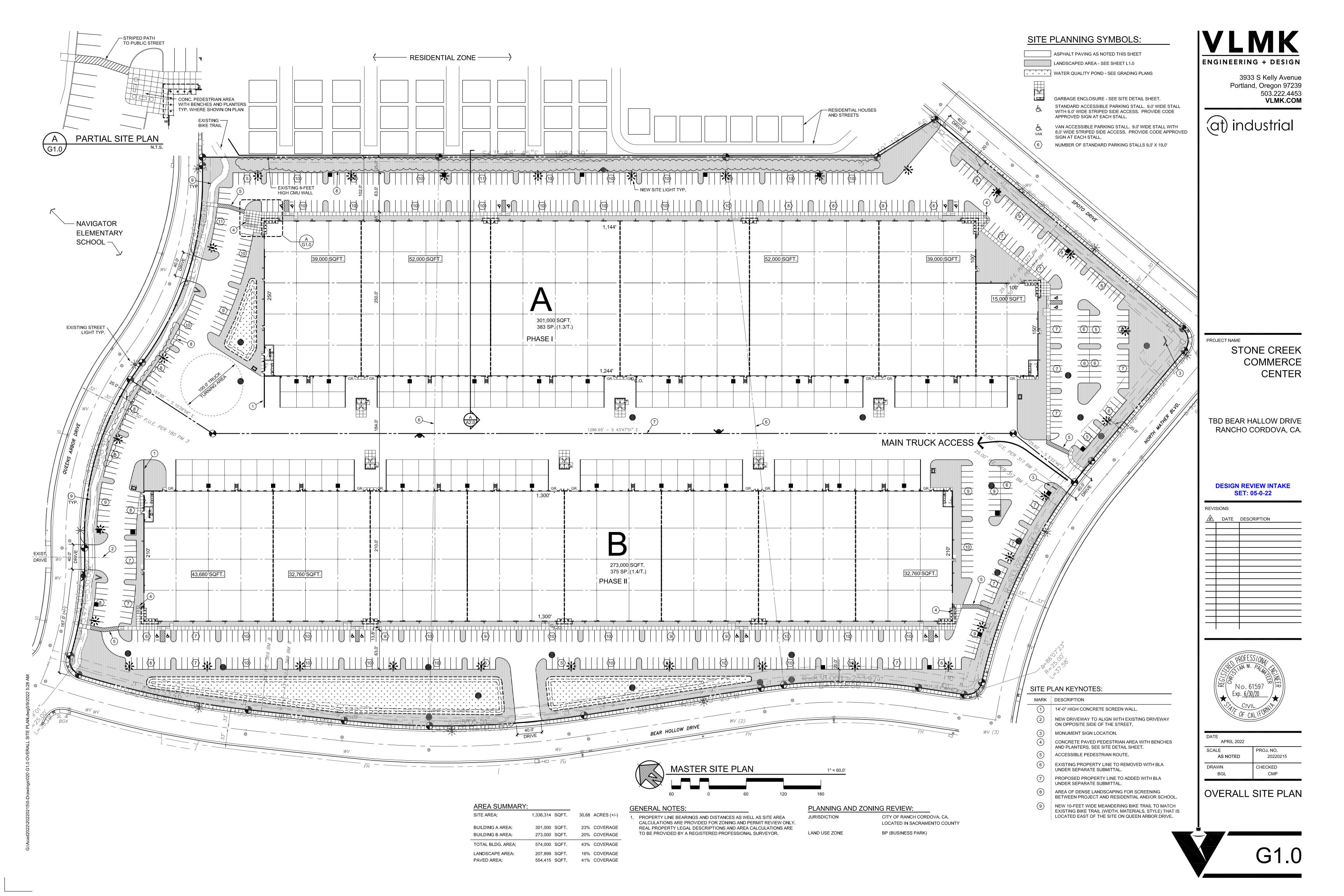
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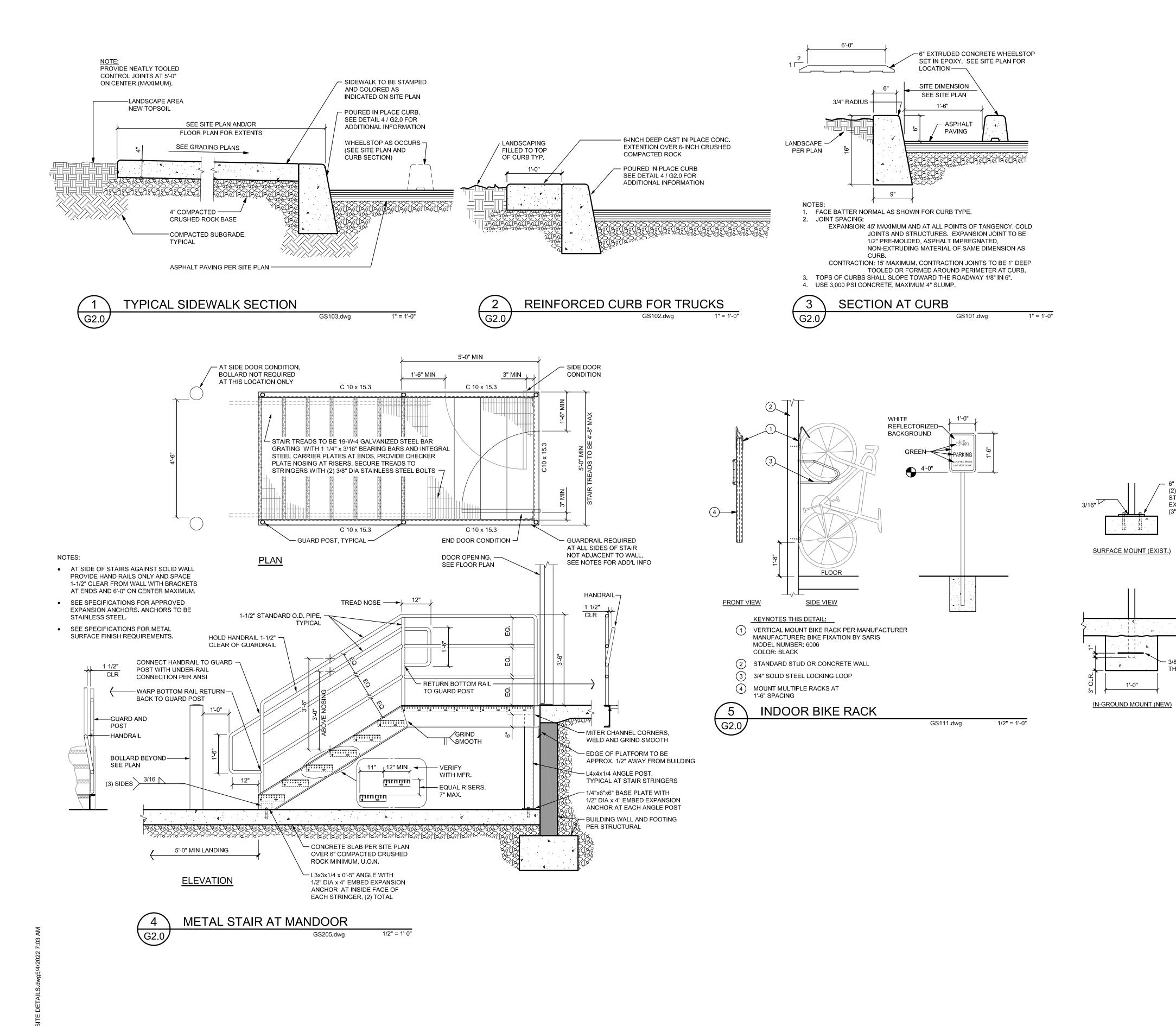


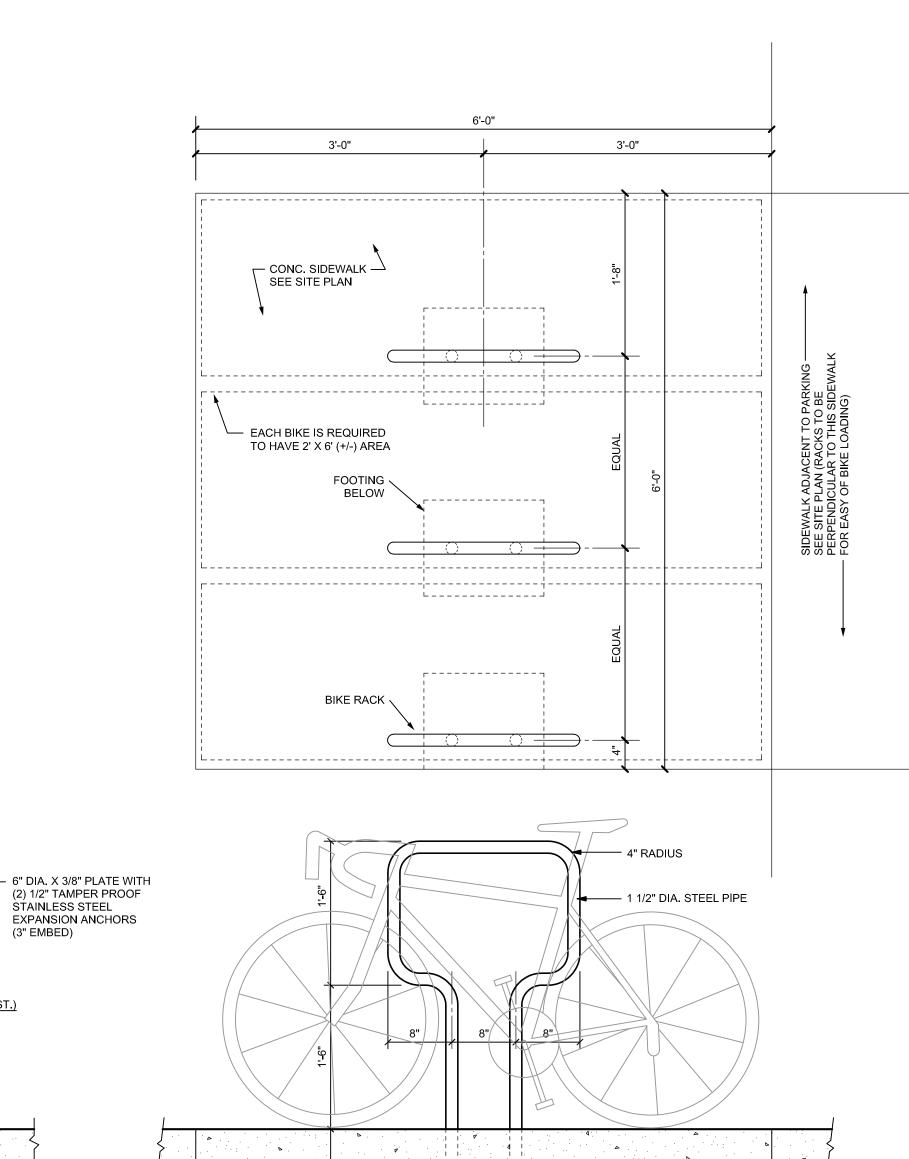
DATE APRIL 2022	
SCALE	PROJ. NO.
AS NOTED	20220215
DRAWN	CHECKED
BGL	CMP

DRAWING HISTORY AND SYMBOLS









1'-3"

EXTERIOR BIKE RACK

- 1'-3" x 1'-0" x 1'-0" DEEP

ALL METAL SURFACES TO BE SHOP

PRIMED AND FIELD PAINTED WITH

TWO COATS OF ALKYD ENAMEL

FOOTING

GS110.dwg

(3" EMBED)

- 3/8" X 6" ANCHOR ROD

THROUGH PIPE

1'-0"

SIDEWALK SEE -

SITE PLAN

VLMK ENGINEERING + DESIGN

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(at) industrial

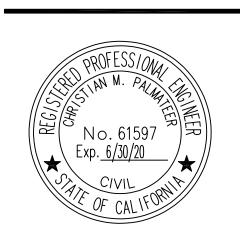
PROJECT NAME

STONE CREEK COMMERCE CENTER

TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CA

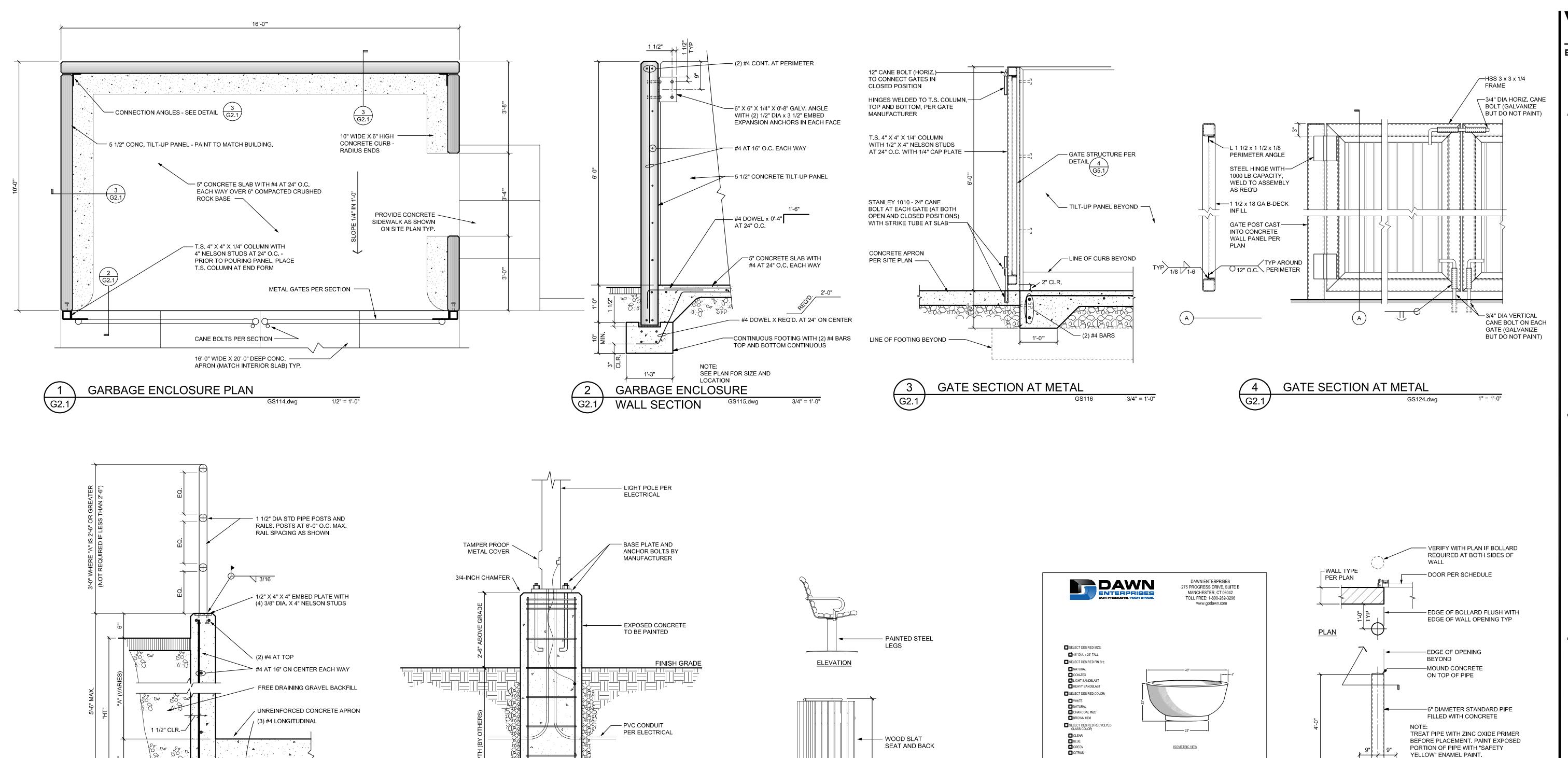
DESIGN REVIEW INTAKE

SET: 05-0-22 REVISIONS # DATE DESCRIPTION



DATE APRIL 2022	
SCALE AS NOTED	PROJ. NO. 20220215
DRAWN	CHECKED
BGL	CMP

SITE DETAILS



<u>PLAN</u>

BENCH DETAIL

NOTES:

1. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.

2. DO NOT SCALE DRAWING.

3. ONE YEAR WARRENTY AGAINST MANUFACTURER DEFECTS.

4. MATERIALS CONSIST OF 38" STEEL REBAR, TYPE 3 PORTLAND CEMENT CONFORMING TO ASTM C31 SPECIFICATIONS.

5. WEIGHT: 1200 LBS

6. STRESS LOAD: 5000 PSI AT 28 DAYS

7. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info
REFERENCE NUMBER 4266-013.

REVISION DATE 05/04/2022 CADdetails.com

PLANTERS
PC48R 4' ROUND CONCRETE BOWL PLANTER

PLANTER DETAIL

020 G2.0-G2.1 SITE DETAILS
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G2.1

CONCRETE FOUNDATION BY OTHERS

BY OTHERS

SCHEMATIC LIGHT POLE BASE

LIGHT-POLE-BASE

2'-3" FOR "HT" LESS THAN 3'-0"

3'-6" FOR "HT" 3'-0" TO 4'-6"

RETAINING WALL

G2.1

ENGINEERING + DESIGN

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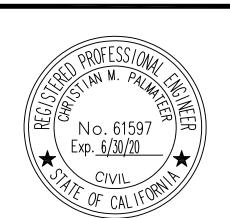
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PROJECT NAME

STONE CREEK COMMERCE CENTER

TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CA.

DESIGN REVIEW INTAKE



DATE APRIL 2022	
SCALE AS NOTED	PROJ. NO. 20220215
DRAWN	CHECKED
BGL	CMP

SITE DETAILS

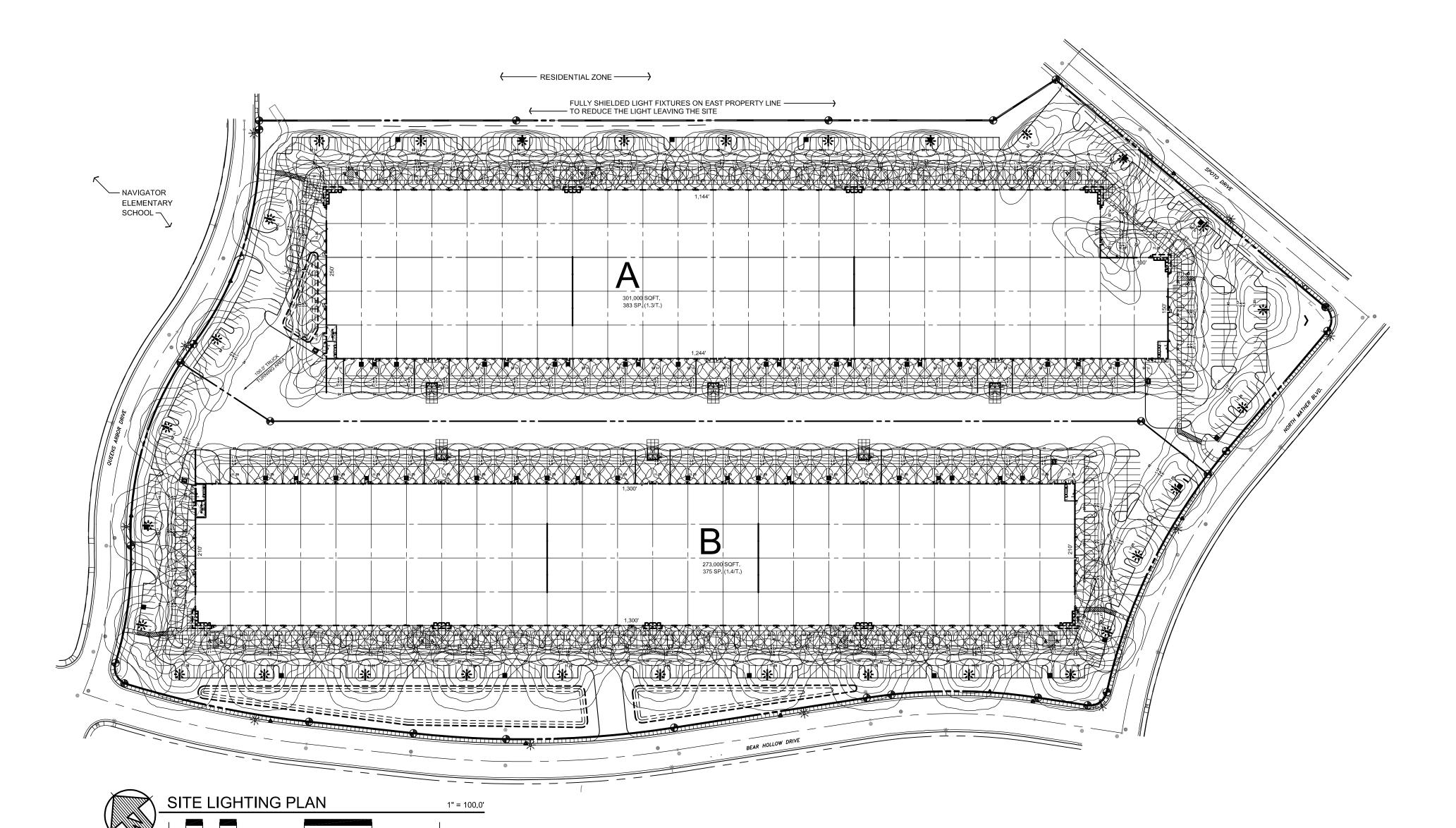
NEW OR EXISTING CONCRETE SLAB

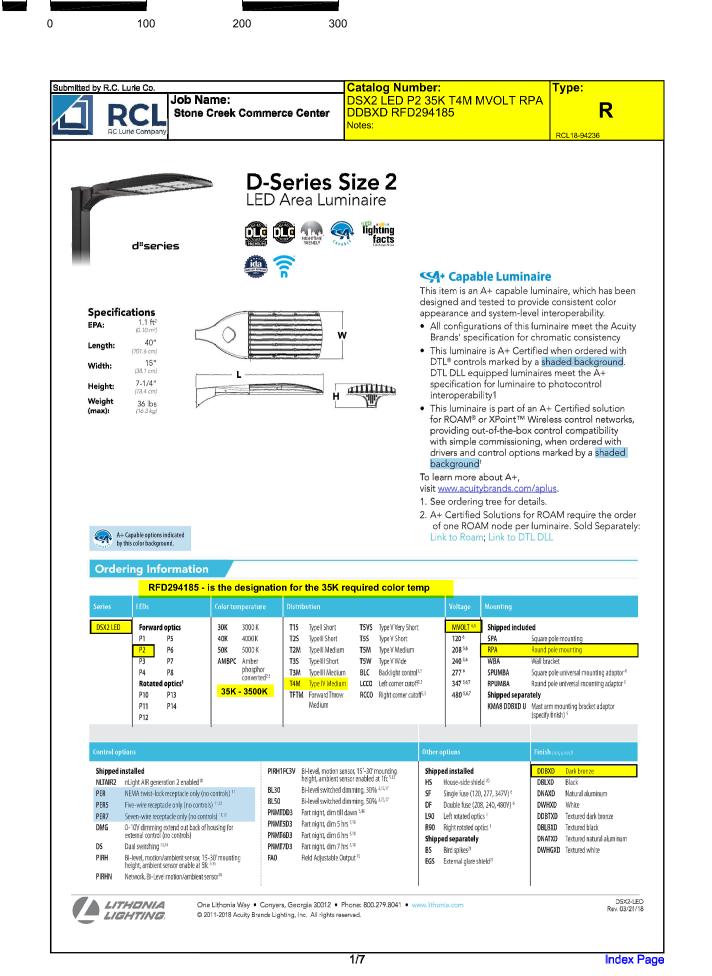
TYPICAL BOLLARD

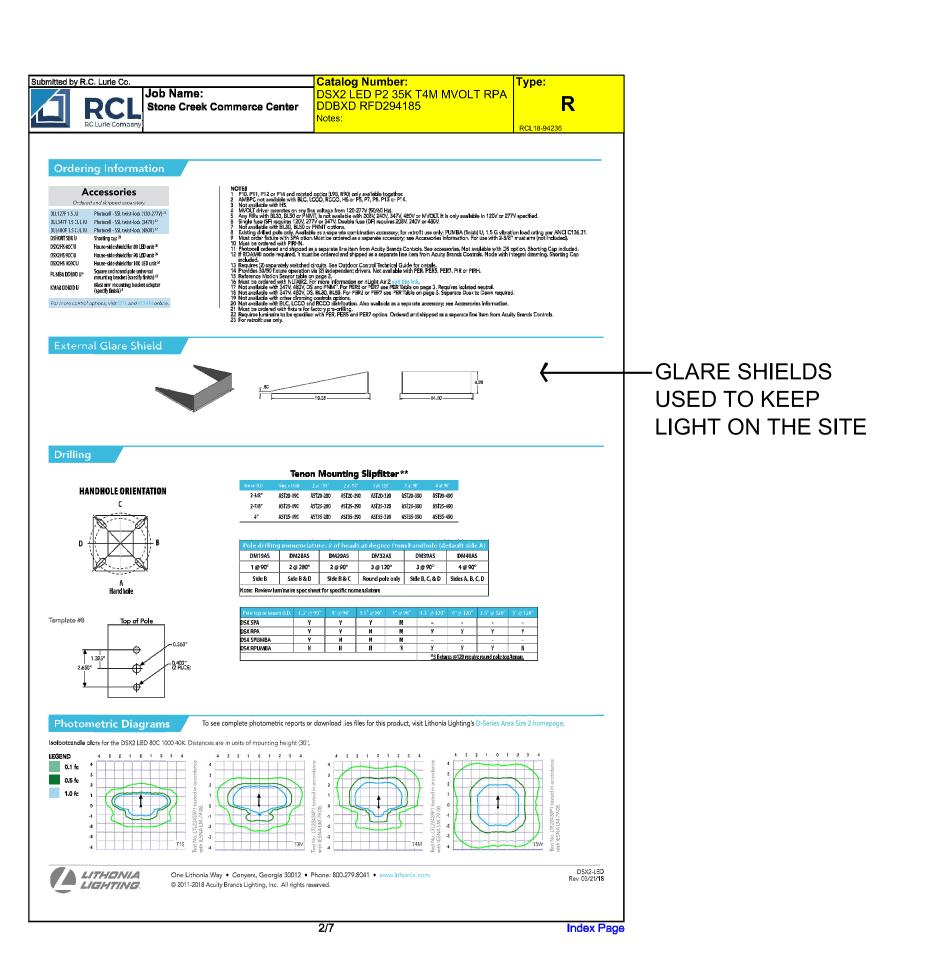
—FILL AROUND PIPE WITH CONCRETE.

MOUND CONCRETE AT GRADE TO DRAIN

WATER AWAY FROM BASE OF PIPE.









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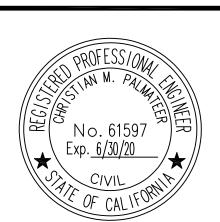
PROJECT NAME

STONE CREEK COMMERCE CENTER

TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CA

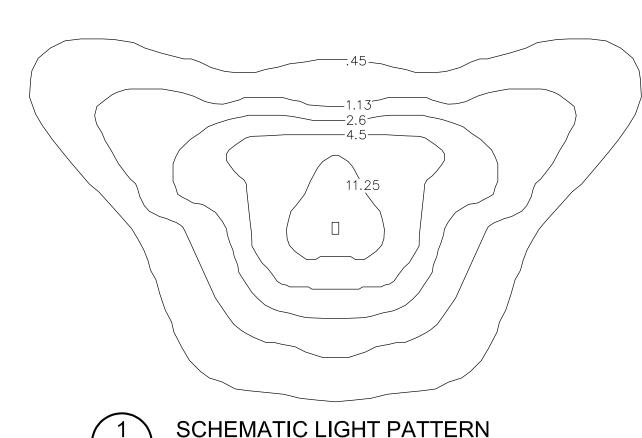
DESIGN REVIEW INTAKE SET: 05-0-22

REVISIONS # DATE DESCRIPTION

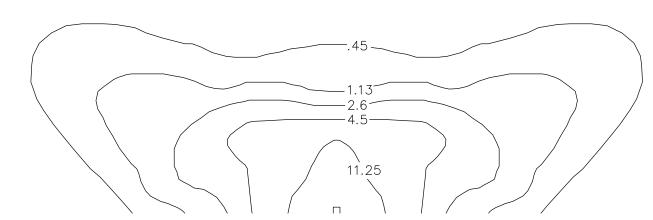


DATE APRIL 2022 SCALE PROJ. NO. AS NOTED 20220215 DRAWN CHECKED BGL

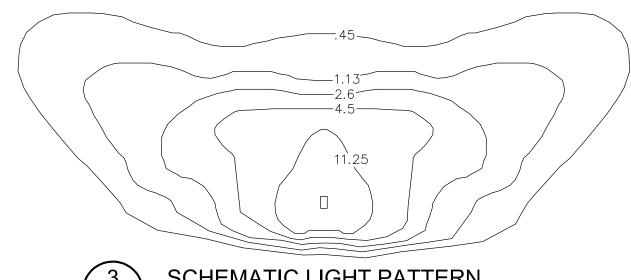
SITE LIGHTING PLAN





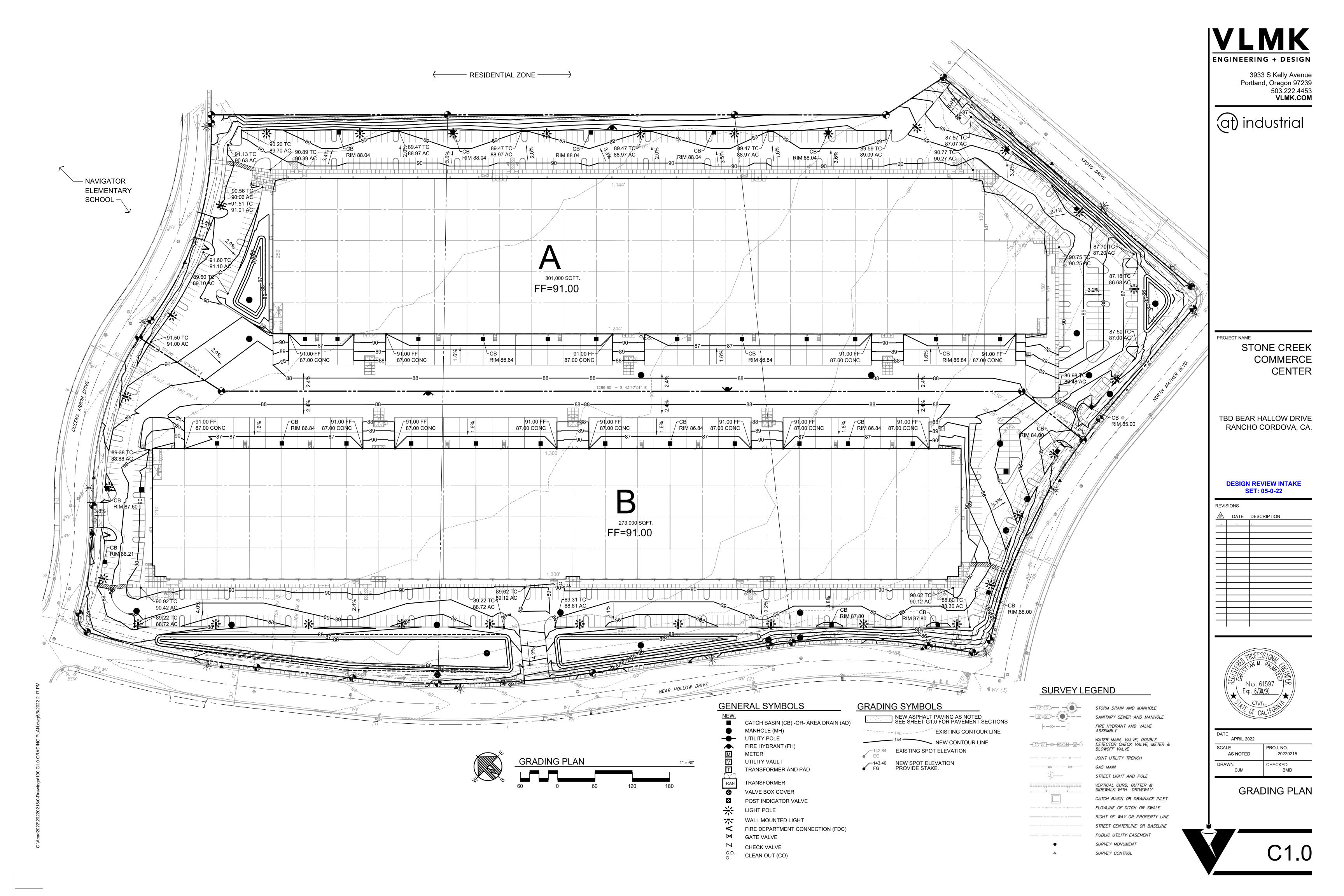


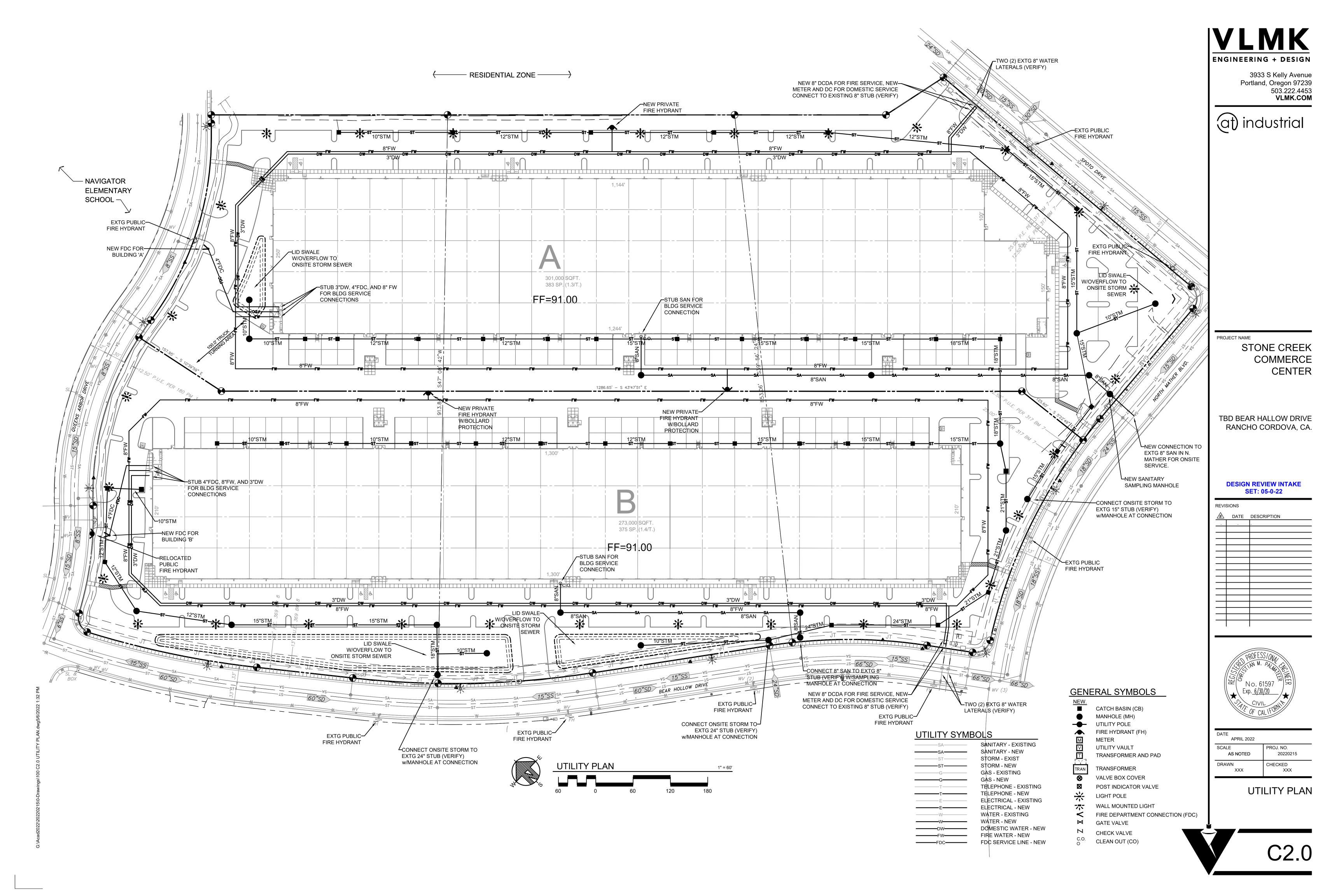
SCHEMATIC LIGHT PATTERN (34' WALL MOUNT)

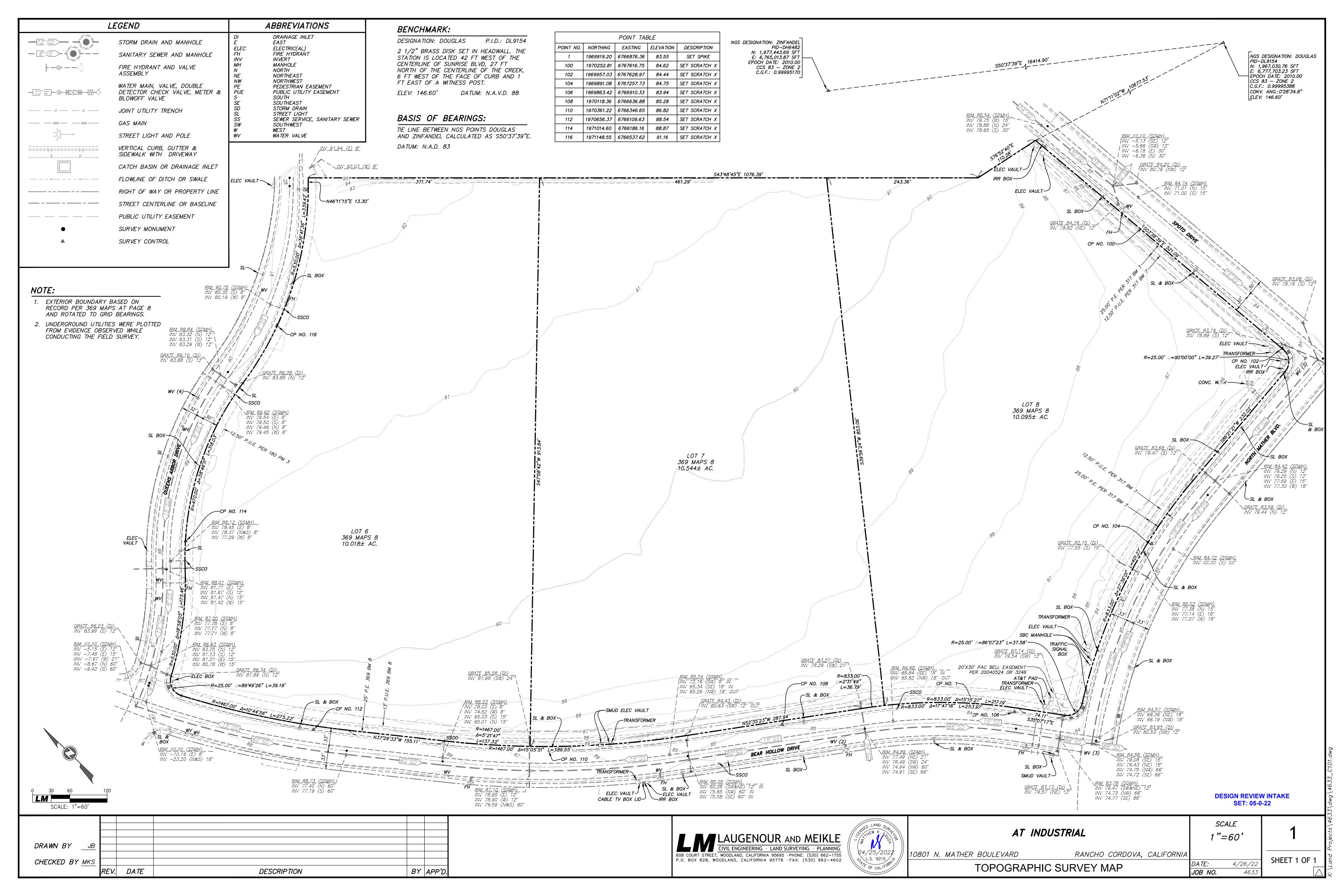


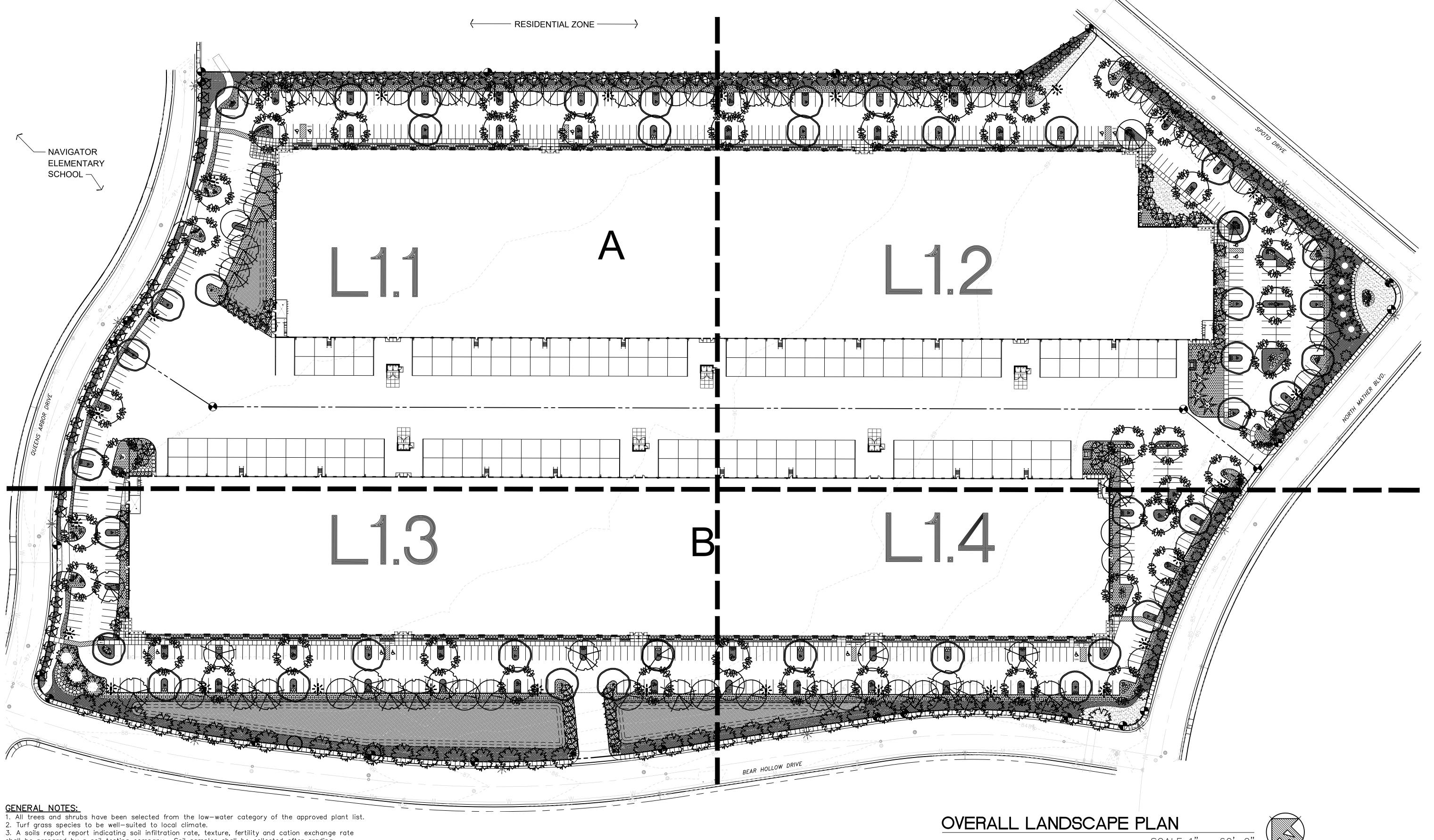
SCHEMATIC LIGHT PATTERN (FULLY SHIELDED FIXTURE ON 30' POLE MOUNT)

LIGHTING CUT SHEETS









3. A soils report report indicating soil infiltration rate, texture, fertility and cation exchange rate shall be prepared by a soil testing company. Soil samples shall be collected after grading operations and prior to installation of landscape materials.

4. Soils will be amended to correct problems noted by the soils report.

5. All trees shall be staked.

6. Planting areas will be mulched with 3 inches bark mulch.

7. Landscaping shall be permanently maintained by watering, clearing debris and litter, removal of weeds and dead vegetation, pruning, insect control and replacement of plant materials and irrigation equipment as needed to preserve the health and appearance of plant materials.

1. Project is to be irrigated by an automatic, underground system, which will provide full coverage for all plant material. System will utilize weather and soil sensors as required.

2. Irrigation system will be designed using Hunter MP Rotator low—flow sprinklers with check valves.

3. Lawn areas will be irrigated separately from tree and shrubs beds, and irrigation zones will group together plants by location and solar exposure.

4. Irrigation system will be designed so that the application rate does not exceed the infiltration rate of the soil.

5. Estimated water use calculations will be provided with permit plan set.

6. The maximum amount of supplemental water to be applied shall average no greater than 30

7. Annual irrigation maintenance and seasonal watering schedule shall be laminated and permanently posted near the control box on site.



Required Canopy Coverage: 50%

PARKING LOT CANOPY TREE CANOPY COVERAGE

Total Parking Lot Area=261,381 sf Required Shaded Area=130,690 sf

	MATURE	CANOPY									
TREE NAME	DIAMETER	AREA (SF)	QTY.	100% TREE CANOPY	QTY.	75% CANOPY QTY.	QTY.	50% CANOPY	QTY.	25% CANOPY	CANOPY COVERAGE (SF)
ALBIZIA JULIBRISSIN	45	1590	5	7952	28	33399	10	7952		0	49,303
CELTIS AUSTRALIS	40	1257		0	3	2827	27	16965		0	19,792
QUERSUS DOUGLASII	40	1257		0	7	6597		0		0	6,597
QUERSUS SUBER	45	1590		0	34	40556	30	23856		0	64,412
										TOTAL CANOPY COVERAGE	140,105
										TOTAL PARKING AREA	261,381

PERCENT CANOPY COVERAGE

TOTAL PROPOSED TREE QUANTITY= 384

25% OF ALL TREES ARE REQUIRED TO BE 24" BOX CONTAINERS 25% REQUIREMENT= 96 TREES PROPOSED 24" BOX TREES= 132

30% OF ALL TREES ARE REQUIRED TO BE EVERGREEN 30% REQUIREMENT= 115 TREES PROPOSED EVERGREEN TREES= 125

ENGINEERING + DESIGN

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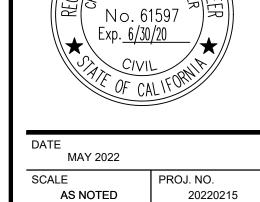
OTTEN + ASSOCIATES LANDSCAPE ARCHITECTURE 3933 South Kelly Avenue, Suite B Portland, OR, 97239 (503) 972-0311 www.ottenla.com

STONE CREEK COMMERCE CENTER

TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CA.

DESIGN REVIEW INTAKE SET: 05-0-22

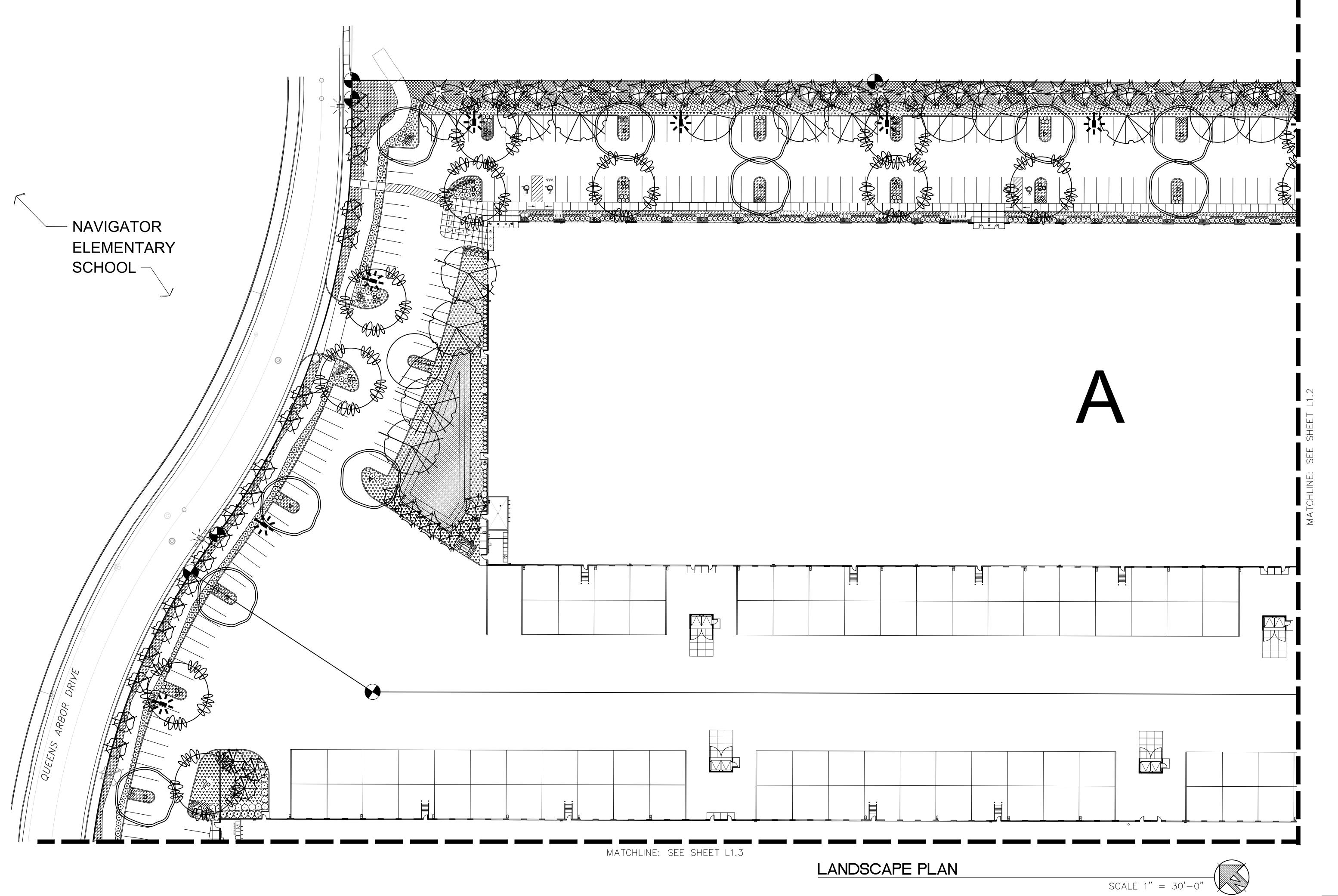
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LANDSCAPE PLAN

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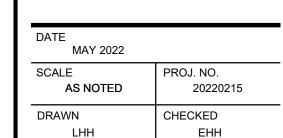
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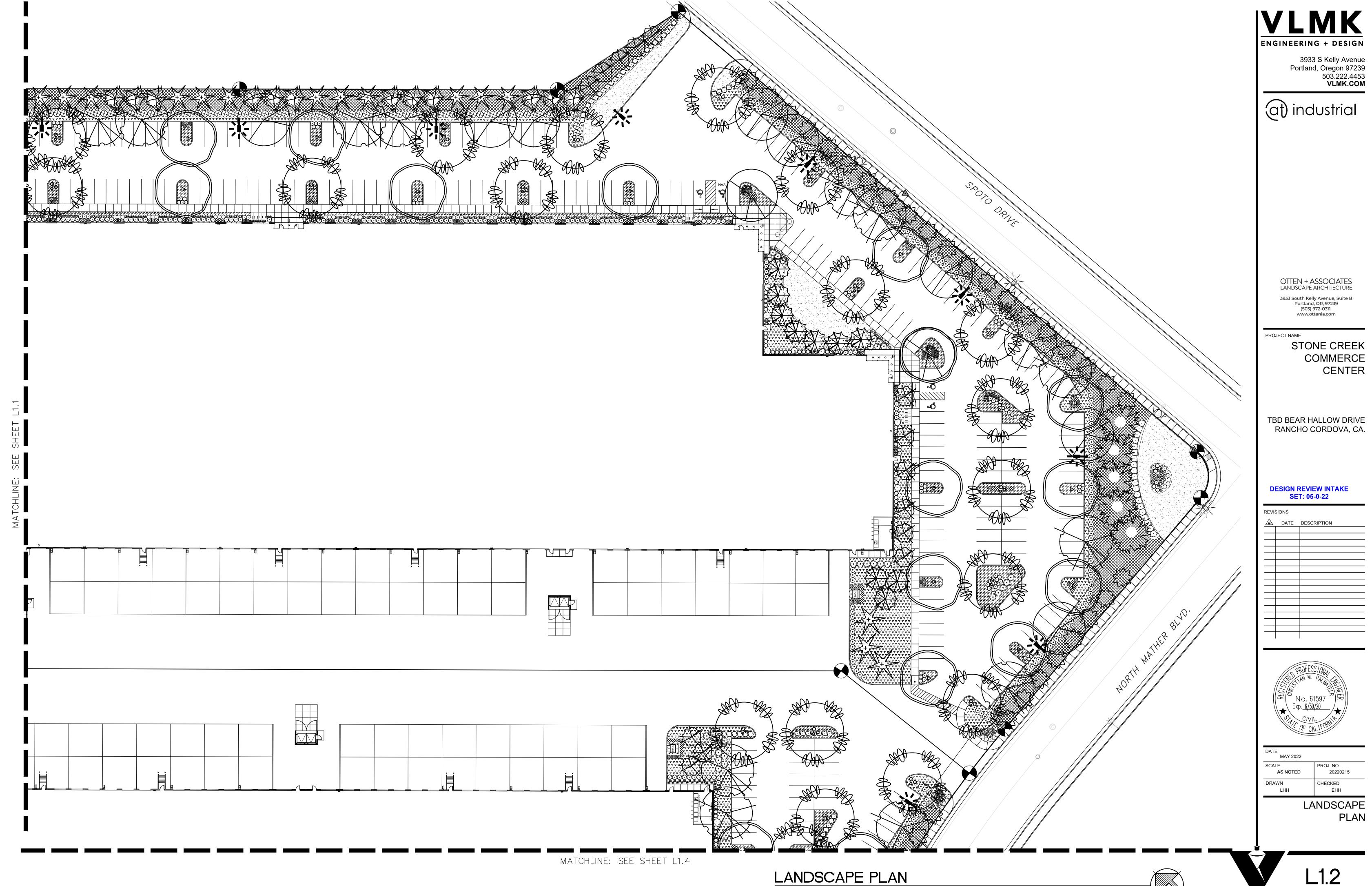
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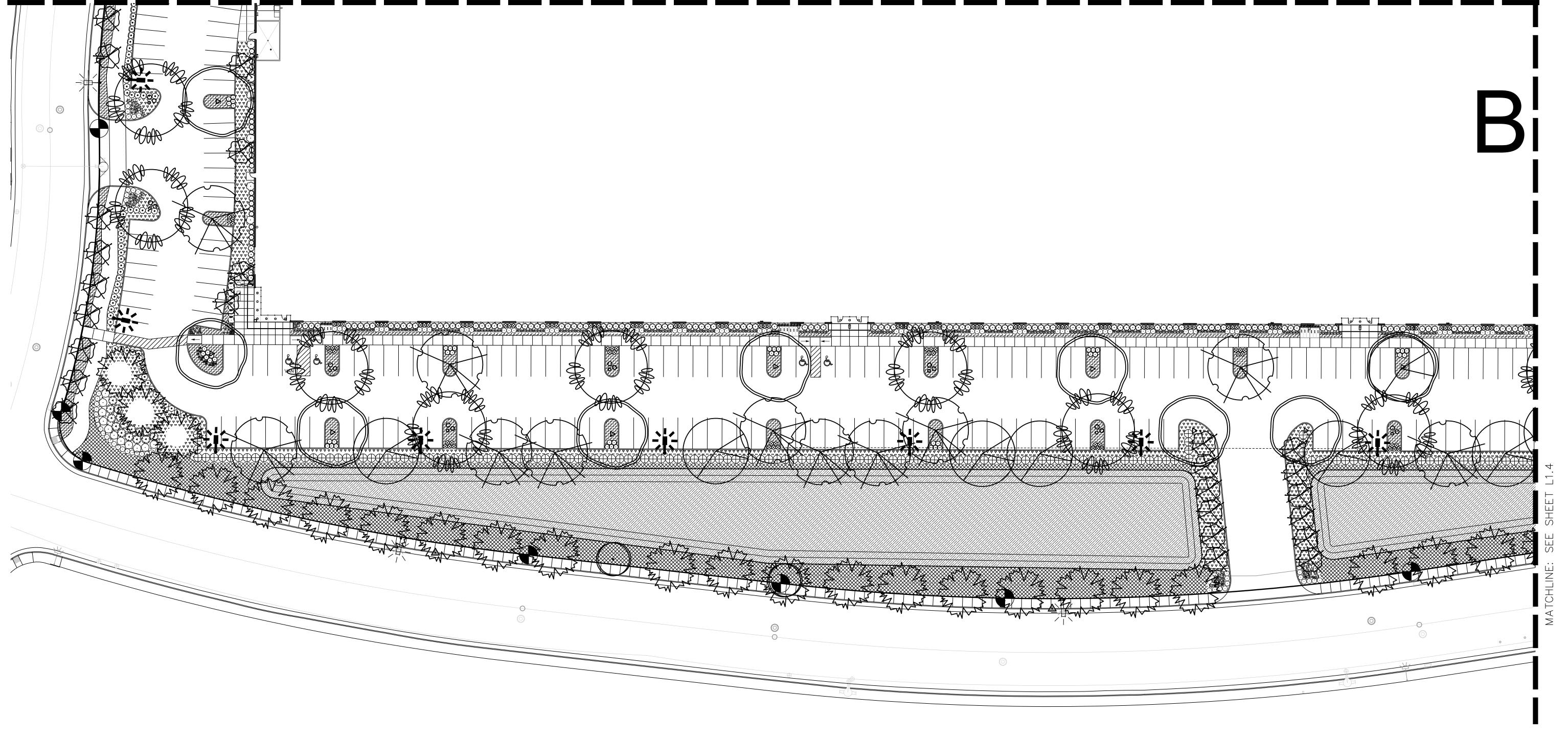


LANDSCAPE PLAN

L1



MATCHLINE: SEE SHEET L1.1



LANDSCAPE PLAN

CALE 1" = 30'-0"





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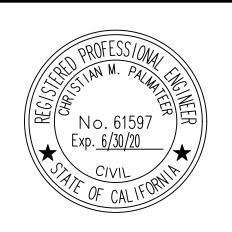
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DATE
MAY 2022

SCALE PROJ. NO.
AS NOTED 20220215

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LANDSCAPE PLAN



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PLANT LIST:										
SYMBOL	QTY.	LATIN NAME/ Common Name	SIZE	SPACING						
200 ddg	TREES									
%	44	ALBIZIA JULIBRISSIN	15 gal	As Shown						
	.	Silk Tree								
	44	CEDRUS ATLANTICA 'GLAUCA' Blue Atlas Cedar	7' ht.	As shown						
	32	CEDRUS DEODARA Deodar Cedar	24" box	As shown						
	33	CELTIS AUSTRALIS European Hackberry	15 gal	As shown						
	58	CERIS OCCIDENTALIS Western Redbud	15 gal	As shown						
£ 3	43	LAGERSTROEMIA INDICA 'NATCHEZ' Natchez Crape Myrtle	15 gal	As Shown						
	13	PINUS ELDARICA MONDELL PINE	7' ht.	As Shown						
	3 6	PINUS PONDEROSA Ponderosa Pine	24" box	As Shown						
	40	QUERSUS DOUGLASII Blue Oak	15 gal	As Shown						
	41	QUERSUS SUBER Cork Oak	24" box	As Shown						

SYMBOL	QTY.	LATIN NAME/ Common Name	SIZE	SPACING
	SHRUBS			
2 4 4 7 4 2	58	BERBERIS THUNBERGII Japanese barberry	5 gal.	5' o.c.
$\hat{\Box}$	46	CISTUS LANDANIFER Crimson—Spot Rockrose	5 gal.	5' o.c.
0	66	CISTUS PURPUREUS Purple Rock Rose	5 gal.	4' o.c.
0	31	CARPENTERIA CALIFORNICA Bush Anemone	5 gal.	5' o.c.
O	135	JUNIPERUS SCOPULORUM 'SKYROCKET' Skyrocket Juniper	4' high	3' o.c.
0	455	LEUCOPHYLLUM FRUTESCENS Texas Ranger	5 gal.	4' o.c.
\oplus	475	MAHONIA AQUIFOLIUM Oregon Grape	5 gal.	5' o.c.
⊗	510	MAHONIA AQUIFOLIUM 'ORANGEE FLAME' Orangee Flame Oregon Grape	5 gal.	3' o.c.
0	240	RHAPHIOLEPIS INDICA 'BALLERINA' Ballerina Indian Hawthorn	5 gal.	3' o.c.
\odot	514	VIBURNUM TINUS "SPRING BOUQUET" Spring Bouquet Laurustinus	5 gal.	4' o.c.

LANDSCAPE PLAN

SYMBOL	QTY.	LATIN NAME/ Common Name	SIZE	SPACING
	PERENNIA	LS & GROUNDCOVER		
	875	ARCTOSTAPHYLOS UVA-URSI "MASS." Massachusetts Kinnikinnick	1 gal.	3' o.c.
	2,536	COTONEASTER DAMMERI "CORAL BEAUTY" Coral Beauty Cotoneaster	1 gal.	4' o.c.
o	16	FESTUCA OVINA "GLAUCA" Blue Sheep Fescue	1 gal.	12" o.c.
*	864	KNIPHOFIA 'POCO ORANGE' Poco Orange Hot Poker	1 gal.	2' o.c.
\(\neg \tau \tau \tau \tau \tau \tau \tau \tau	3,161	MAHONIA REPENS Creeping Oregon Grape	1 gal.	30" o.c.
*	150	PENNISETUM ALOPECUROIDES "HAMELN" Hameln Dwarf Fountain Grass	1 gal.	2' o.c.
0	321	ROSMARINUS OFFICINALIS PROSTRATUS Creeping Rosemary	1 gal.	3' o.c.
*	71	SALVIA GREGGII 'FURMAN'S RED' Furman's Red Autumn Sage	1 gal.	3' o.c.
		FINE LAWN Grass mix suitable for local climate		
	STORM W	ATER FACILITIES		
		PLANTINGS PER RANCHO CORDOVA REQUIREMENTS		

SCALE 1" = 30'-0"

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DATE MAY 2022 PROJ. NO. 20220215 SCALE AS NOTED CHECKED

LANDSCAPE PLAN



OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 — 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliaged, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, symmetrical tips, and have an intact single leader. Any trees with double leaders will be rejected upon inspection. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container grown stock: Small container—grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. Grow container plants in containers a minimum of one year prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well—branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TOPSOIL AND FINAL GRADES: Landscape Contractor is to supply and place 12" of topsoil in planting beds and 6" in lawn areas. Landscape Contractor is to verify with the General Contractor if the on—site topsoil is or is not conducive to proper plant growth. The topsoil shall be a sandy loam, free of all weeds and debris inimical to lawn or plant growth. Furnish soil analysis by a qualified soil testing laboratory stating percentages of organic matter; gradation of sand, silt and clay content; cation exchange capacity; deleterious material; pH; and plant nutrient content of the topsoil. Report suitablility of topsoil for plant growth and recommended quantities of nitrogen, phosphorus and potash nutrients and soil amendments (including compost) to be added to produce satisfactory topsoil. If stockpiled topsoil on site is not conducive to proper plant growth, the Landscape Contractor shall import the required amount.

Landscaping shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

PLANTING SPECIFICATIONS:

HERBICIDES: Prior to soil preparation, all areas showing any undesirable weed or grass growth shall be treated with Round-up in strict accordance with the manufacturer's instructions.

SOIL PREPARATION: Work all areas by rototilling to a minimum depth of 8". Remove all stones (over 1½" size), sticks, mortar, large clumps of vegetation, roots, debris, or extraneous matter turned up in working. Soil shall be of a homogeneous fine texture. Level, smooth and lightly compact area to plus or minus .10 of required grades.

In groundcover areas add 2" of compost (or as approved) and till in to the top 6" of soil.

PLANTING HOLE: Lay out all plant locations and excavate all soils from planting holes to 2 1/2 times the root ball or root system width. Loosen soil inside bottom of plant hole. Dispose of any "subsoil" or debris from excavation. Check drainage of planting hole with water, and adjust any area showing drainage problems.

SOIL MIX: Prepare soil mix in each planting hole by mixing:

2 part native topsoil (no subsoil)

1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:

Small shrubs - 1/8 lb./ plant Shrubs - 1/3 to 1/2 lb./ plant

Trees - 1/3 to 1 lb./ plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8—16—8) with micro—nutrients and 50% slow—releasing nitrogen. For lawn maintenance use Commercial Fertilizer "C" (22—16—8) with micro-nutrients and 50% slow-releasing nitrogen. DO NOT apply fertilizer to Water Quality Swale.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1'-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire. Staking and guying shall be loose enough to allow movement of tree while holding tree upright. Tree stakes shall be removed after one year.

MULCHING OF PLANTINGS: Prior to mulch installation, apply granulated pre-emergent herbicide to all planting areas according to manufacturer's instructions. Mulch planting areas with dark, aged, medium grind fir or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2½" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

FINE LAWN AREAS: In fine lawn area apply Commercial Fertilizer Mix "B" at 4.5 lbs. Per 1,000 sq.ft. and rake into soil surface. Establish an even, fine textured seedbed meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

ROUGH SEED AREA: In rough seeded area, establish an evenly graded seedbed. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

SEED: Bluetag grass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis.

Fine Lawn Seed Mix: To contain 50% Top Hat Perennial Ryegrass, 30% Derby Supreme Ryegrass, 20% Longfellow Chewings Fescue (Hobbs and Hopkins Pro-Time 303 Lawn Mix or as approved) Sow Seed at 5 lbs. / 1000 sq. ft.

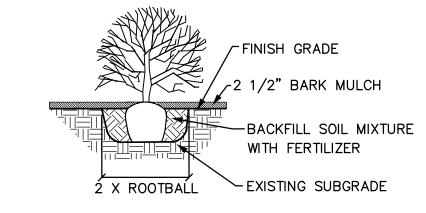
Rough Seed Mix: To Contain: 60% Perennial Ryegrass, 15% Eureka Hard Fescue, and 20% Herbaceous Plants and Clover (Hobbs and Hopkins Pro-Time 705 PDX, or approved equal). Sow at 2 lbs. Per 1,000 sq.ft.

MAINTENANCE OF SEEDED AREAS:

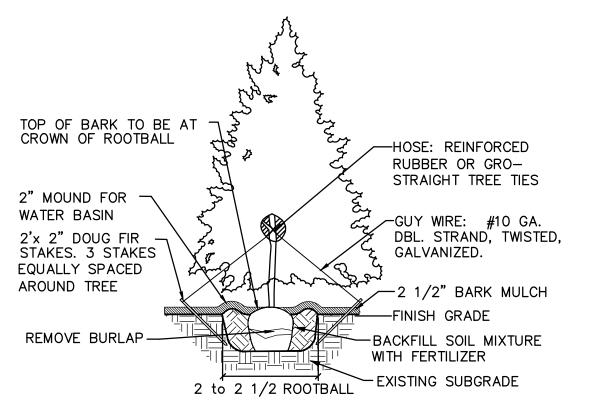
Fine Lawn Areas: The lawn areas shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix "C" at 5 lbs. per 1,000 sq. ft. Mow and keep at 1½" to 2" in height. Remove clippings and dispose of off site.

GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

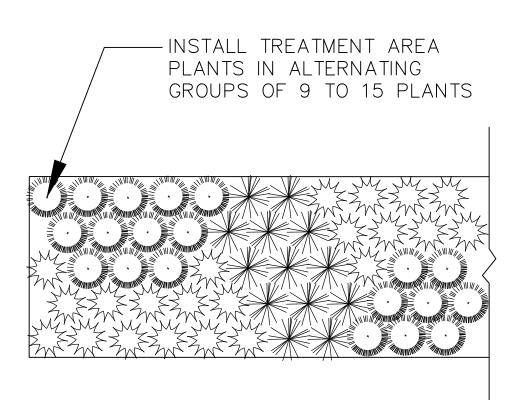
CLEAN—UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.



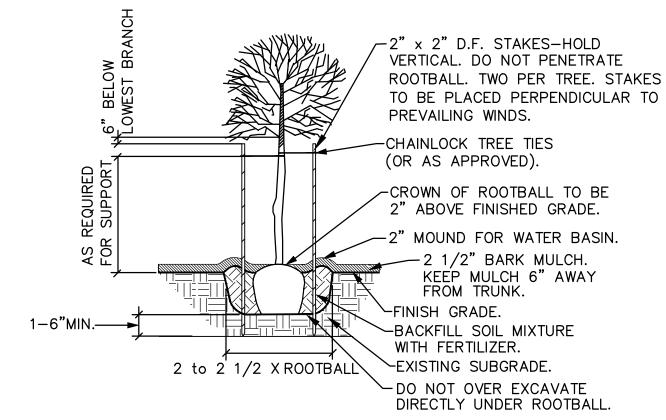
SHRUB PLANTING DETAIL NOT TO SCALE



EVERGREEN TREE STAKING DETAIL NOT TO SCALE

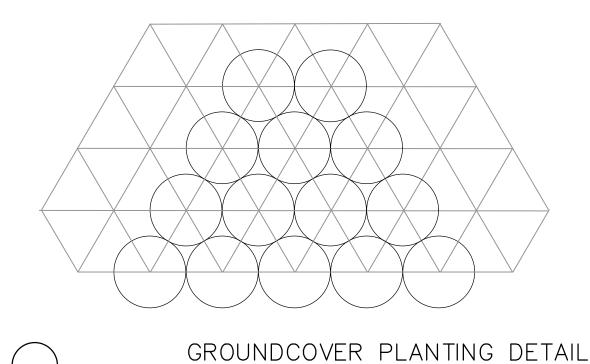


STORMWATER FACILITY PLANTING DETAIL NOT TO SCALE



NOTE: ANY PROPOSED CHANGES TO OUR SPECIFICATION OR DETAIL SHOULD BE APPROVED BY THE LANDSCAPE ARCHITECT. LIKEWISE, IN ACCORDANCE WITH BEST PRACTICES OF LOCAL LANDSCAPE INSTALLATION, SHOULD THE LANDSCAPE CONTRACTOR FIND A PREFERRED ALTERNATE METHOD, THE LANDSCAPE ARCHITECT MAY BE SO ADVISED.

GENERAL DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE



NOT TO SCALE



ENGINEERING + DESIGN

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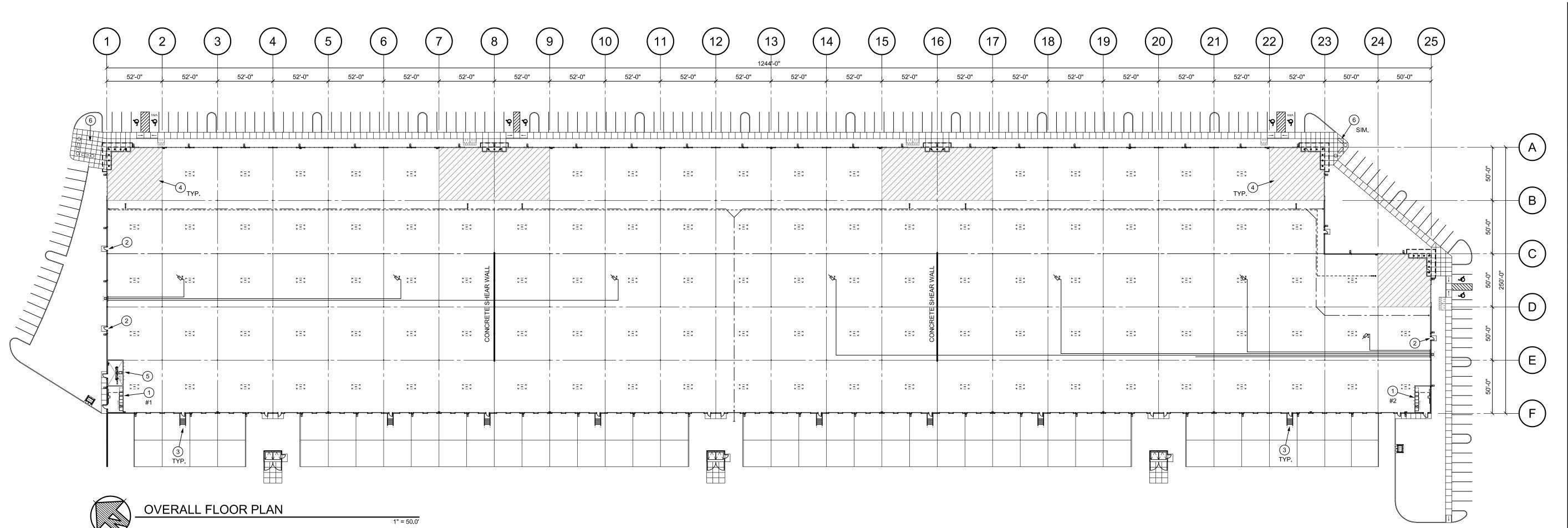
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DATE MAY 2022 PROJ. NO. AS NOTED 20220215 CHECKED

LANDSCAPE **DETAILS**





GENERAL NOTES:

SEE FOUNDATION PLANS FOR ADDITIONAL DIMENSIONS OF ALL OPENINGS (DOORS, ETC.) THAT ARE NOT SHOWN.

- 2. VERIFY ALL UTILITY LOCATIONS AT EXIT FROM BUILDING WITH MECHANICAL CONTRACTOR. COORDINATE ALL INTERIOR AND EXTERIOR UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- 3. SEE SITE PLAN (G1.0) FOR ADDITIONAL INFORMATION ON ITEMS THAT ARE SHOWN OUTSIDE OF BUILDING (WALKS, PARKING, ETC.).
- 4. DIMENSIONS TAKE PRECEDENCE OVER DRAWING: DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ENGINEER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS, PRIOR TO CONTINUING WITH WORK.
- 5. ALL DIMENSIONS ON PLANS ARE FROM THE OUTSIDE FACE OF EXTERIOR WALLS AND CENTERLINE OF INTERIOR WALLS UNLESS OTHERWISE NOTED.

KEYNOTES:

MARK DESCRIPTION

1 ELECTRICAL ROOM (3,000 AMP SERVICE) - SEE ARCHITECTURAL DETAIL SHEET (A7.0). ALSO SEE ELECTRICAL DRAWINGS.

- 2 FIRE DEPARTMENT ACCESS MANDOORS PER SCHEDULE. SEE NOTES ON ENLARGED FLOOR PLAN SHEETS.
- VAPOR BARRIER UNDER SLAB AT ALL LOCATIONS SHOWN WITH HATCH PATTERN SEE SPECIFICATIONS FOR TYPE.
- 5 FIRE PUMP ROOM (SEE SHEET A7.0) WITH FIRE PUMP
- PER PLUMBING SPECIFICATIONS.

 (6) PEDESTRIAN AREAS SEE PLAN ON SHEET G2.0.

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APRIL 2022

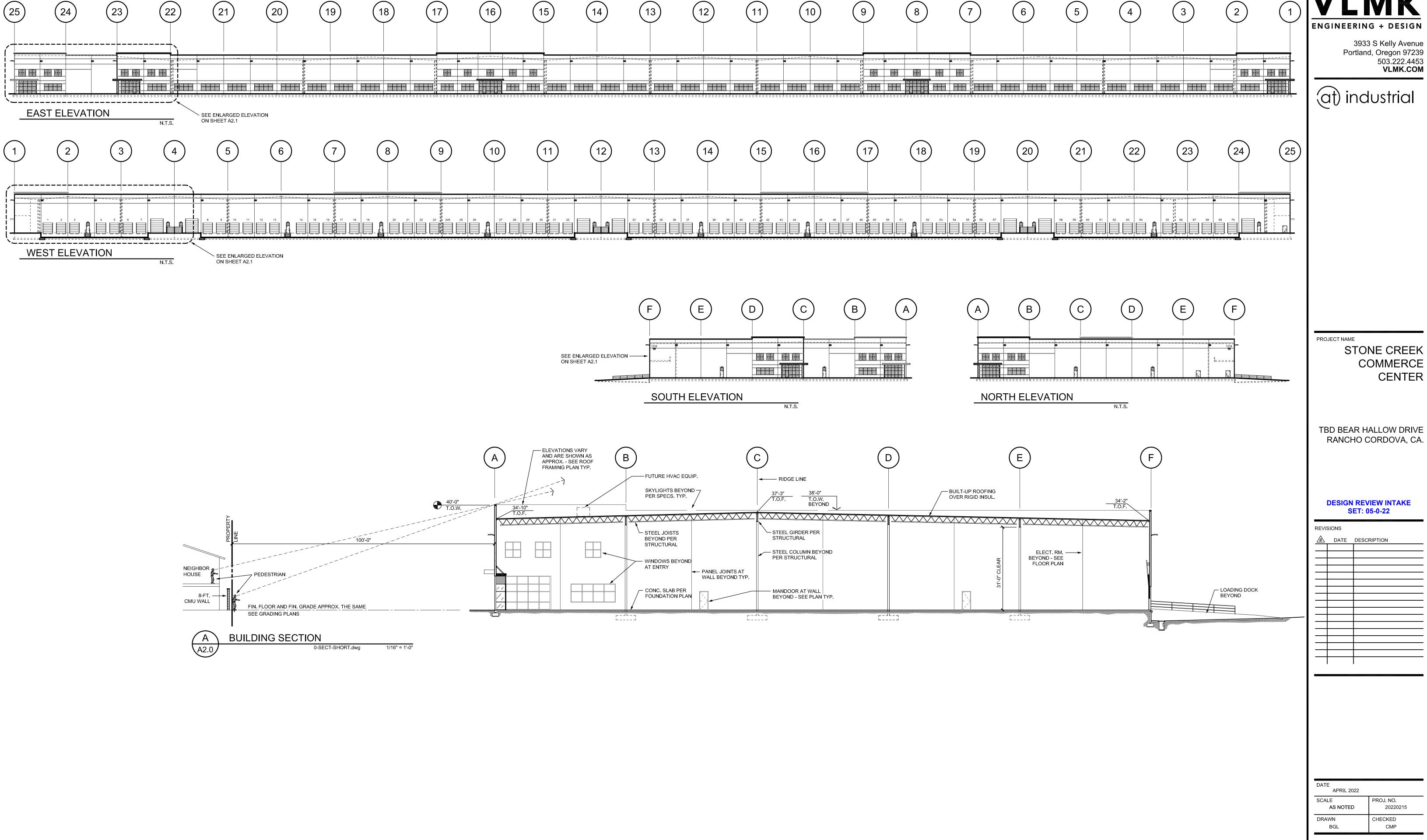
SCALE
AS NOTED

PROJ. NO.
20220215

DRAWN
BGL

CHECKED
CMP

OVERALL FLOOR



OVERALL EXTERIOR **ELEVATIONS AND BUILDING SECTION**

MARK DESCRIPTION

NUMBERS OR ADDRESSES SHALL BE ILLUMINATED WITH A MINIMUM OF 5-FOOT CANDLE POWER AT THE FACE OF THE NUMBERS AND SHALL CONTRAST WITH THEIR BACKGROUND - PROVIDE UP-LIGHT TYPICAL AT ALL ADDRESS LOCATIONS. SEE ELECTRICAL FOR LIGHT FIXTURE.

2 WALL LIGHTS PER FLECTRICAL

2 WALL LIGHTS PER ELECTRICAL.

3 24" HIGH (1/2-INCH THICK) ACRYLIC LETTERS (BLACK FACE). VERIFY NUMBERS OR ADDRESS BEFORE INSTALLING. ONE NUMBER OVER EACH DOCK DOOR.

CONCRETE TILT-UP PANELS TYPICAL ON ALL SIDES. SEE STRUCTURAL FOR THICKNESS AND DETAILS.

5 3'-0" X 3'-0" RELITE OVER ALL EXTERIOR MANDOORS (EXCEPT AT

ELECTRICAL ROOM). GLASS TO MATCH STOREFRONT.

OVERHEAD DOOR PER DOOR SCHEDULE.

7 EXTERIOR MANDOOR PER DOOR SCHEDULE.

BUILT-UP STUCCO CORNICE TYPICAL AT PARAPET OF OFFICE ENTRIES - SEE DETAIL 7 / A6.0.

9 DASHED LINE INDICATES ROOF LINE BEYOND. SHOWN SCHEMATICALLY - VERIFY ALL T.O.F. ELEVATIONS WITH THE ROOF FRAMING PLAN.

10 DASHED LINES BELOW GRADE INDICATE FOOTINGS. SHOWN SCHEMATICALLY - VERIFY ALL FOOTING LOCATIONS

SCHEMATICALLY - VERIFY ALL FOOTING LOCATIONS
WITH THE FOUNDATION PLAN.

11 CONCRETE RETAINING WALL WITH STEEL GUARDRAIL AT EDGE ALL LOADING DOCKS - SEE DETAIL 7 / G2.0.

ELEVATION KEYNOTES (CONT.):

MARK DESCRIPTION

12 DOCK DOORS PER DOOR SCHEDULE.

DOCK BUMPERS TYP. AT ALL DOCK DOORS (U.N.O.).

ALUM. STOREFRONT ENTRY TYPICAL - SEE FLOOR PLAN.

ALUM. STOREFRONT WINDOWS PER SPECIFICATIONS.

1/2" X 3" REVEAL TYPICAL WHERE SHOWN.

17 SPANDREL GLASS ABOVE 10'-0" AT ALL HATCHED AREAS - SEE SECTION.

18 EMERGENCY LIGHT (SCONCE) WITH LED FIXTURE AND BATTERY BACK-UP AT ALL EXTERIOR MANDOORS WHERE SHOWN (COORDINATE WITH ELECTRICAL PLANS)

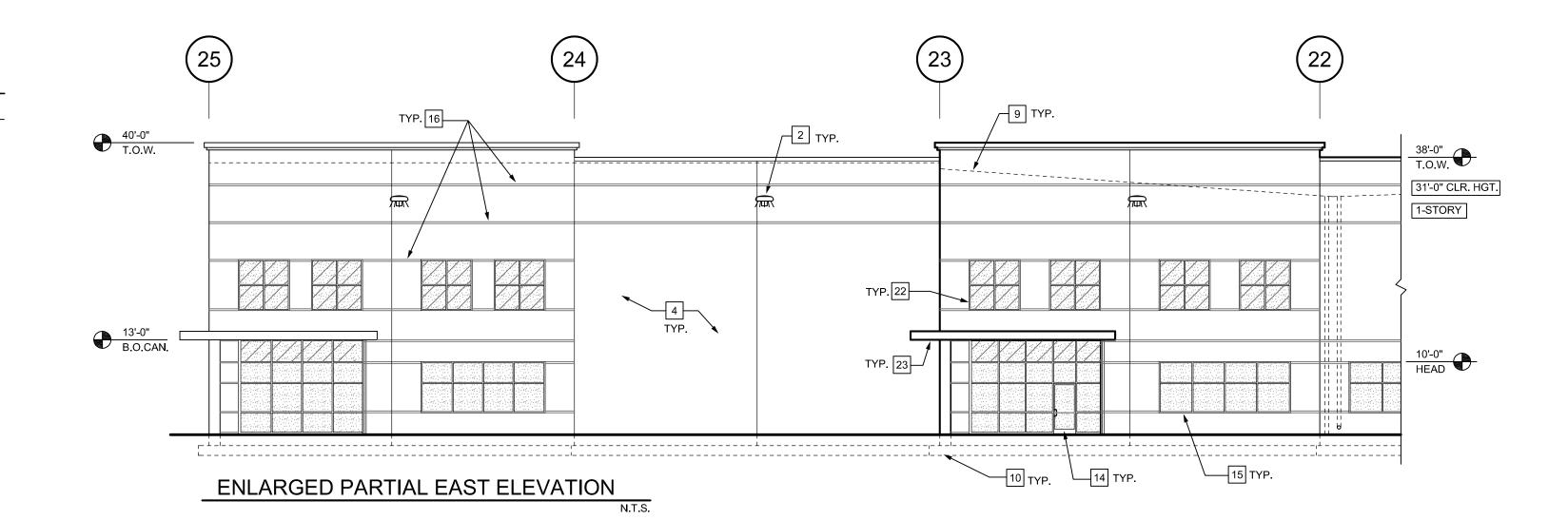
ROOF DRAIN (R.D.) ON INTERIOR OF THE BUILDING ON SOUTH ELEVATION ONLY. SEE NOTES ON FLOOR PLANS. INSTALL OVERFLOW DRAIN PER FLOOR PLAN NOTES WITH COW TONGUE ON EXTERIOR SIDE.

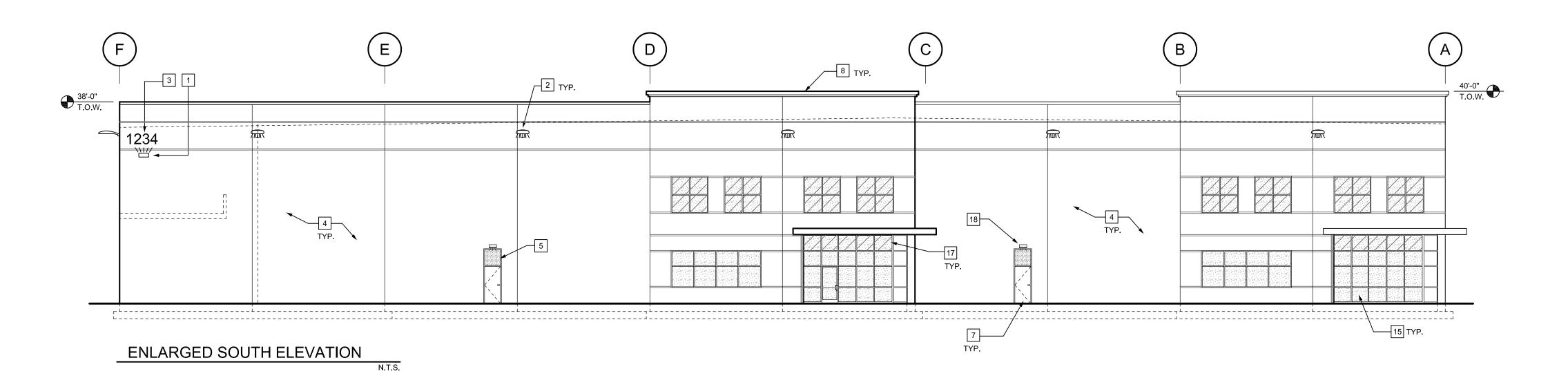
ALL UPPER WINDOWS TO HAVE SPANDREL GLASS.

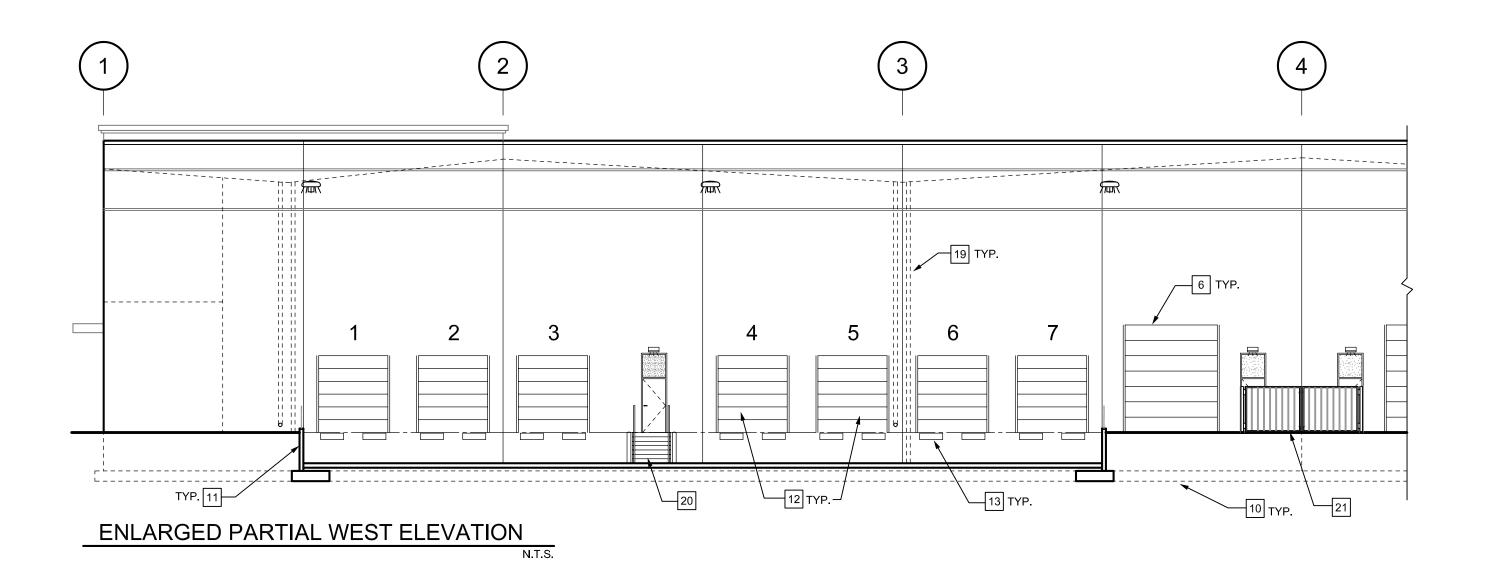
20 STEEL STAIR AT MANDOOR IN DOCK - SEE 3 / G2.2.

21 GARBAGE ENCLOSURE PER DETAILS ON SHEET G2.1.

FLAT STEEL CANOPY AT ALL ENTRIES.







ENGINEERING + DESIGN

3933 S Kelly Avenue Portland, Oregon 97239 503.222.4453 **VLMK.COM**

(at) industrial

PROJECT NAME

STONE CREEK COMMERCE CENTER

TBD BEAR HALLOW DRIVE RANCHO CORDOVA, CA.

DESIGN REVIEW INTAKE SET: 05-0-22

SE1: 05-0-22				
REVISIONS				
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ENLARGED EXTERIOR ELEVATIONS